



Comhairle Cathrach  
& Contae Luimnigh  
Limerick City  
& County Council



**Limerick City and County Council**

**Planning Department**

**Section 5 Application**

**DECLARATION ON DEVELOPMENT AND EXEMPTED DEVELOPMENT**

Applicant's Name: AOIFE QUINN + DAVID O'FARRELL

Applicant's Address: WOOD ROAD  
CRATLOE  
CO CLARE

Telephone No.



Name of Agent (if any): \_\_\_\_\_

Address: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Telephone No. \_\_\_\_\_

Address for Correspondence:

WOOD ROAD  
CRATLOE  
CO CLARE

Location of Proposed development (Please include EIRCODE):

TRADAREE, 53, SHELBOURNE PARK,  
ENNIS ROAD, LIMERICK  
V94 XN 9Y

Description of Proposed development:

DEMOLITION OF AN EXISTING STRUCTURALLY  
DEFECTIVE SINGLE-STOREY SIDE EXTENSION  
AND CONSTRUCTION OF A NEW SINGLE-STOREY

REAR EXTENSION (LESS THAN 40M<sup>2</sup>) TOGETHER WITH  
ASSOCIATED REFURBISHMENT WORKS TO EXISTING DWELLING.  
Section of Exempted Development Regulations and/or section of the Act under which  
exemption is claimed:

SECTION 4 (1)(h) OF PLANNING AND DEV. ACT 2000 (AS AMENDED)  
AND ARTICLE 6, SCHEDULE 2, PART 1, CLASS 1 OF PLANNING +  
Is this a Protected Structure or within the curtilage of a Protected Structure. DEV. REG 2001.  
YES ☒ NO

Applicant's interest in site: OWNER

List of plans, drawings, etc. submitted with this application:

- ① SITE LOCATION MAP. ② EXISTING PLANS
- ③ PROPOSED PLANS and ELEVATIONS
- ④ COVER LETTER ⑤ STRUCTURAL ENGINEER'S REPORT
- ⑥ LETTER CONFIRMING EXEMPT STATUS OF EXISTING EXTENSION
- ⑦ RECEIPT OF PAYMENT FOR SECTION 5 APPLICATION.

Have any previous extensions/structures been erected at this location ☒ YES ☐ NO

If Yes please provide floor areas of all existing structures:

EXISTING SINGLE-STOREY SIDE EXTENSION /  
GARAGE - APPROXIMATELY 24.25 M<sup>2</sup>  
(TO BE DEMOLISHED)

Signature of Applicant (or Agent)

E. J. Quinn

Aoife Quinn and David O'Farrell

53 Shelbourne Park

Ennis Road

Limerick

V94 XN9Y

Date: 14/07/26

Planning Department

Limerick City and County Council

**Re: Application for a Declaration under Section 5 of the Planning and Development Act 2000 (as amended)**

Property: 53 Shelbourne Park, Ennis Road, Limerick, V94 XN9Y

Dear Sir/Madam,

Please find enclosed an application under Section 5 of the Planning and Development Act 2000 (as amended) seeking a declaration that the proposed works at the above property constitute exempted development.

The proposed works comprise the demolition of an existing structurally defective single-storey side extension, the construction of a new single-storey rear extension with a floor area of approximately 32.2m<sup>2</sup> (less than 40 m<sup>2</sup>), and associated refurbishment works to the existing dwelling.

The existing side extension has deteriorated significantly and, following inspection by a Chartered Engineer, has been found to exhibit substantial structural cracking and deterioration. The engineer has recommended that the extension be demolished as part of the overall refurbishment of the property. A copy of the engineer's report is enclosed.

The existing side extension predates the current planning requirements for domestic extensions, and supporting documentation confirming its exempt status is also enclosed.

The proposed rear extension has been designed to comply with the provisions relating to exempted development for extensions to dwellinghouses under the Planning and Development Act 2000 (as amended) and the Planning and Development Regulations 2001 (as amended).

The following documentation is enclosed in support of this application:

1. Completed Section 5 Application Form
2. Covering Letter
3. Site Location Map (OSi)
4. Existing Site and Floor Plan
5. Proposed Site Layout Plan, floor plans and Elevations
6. Structural Engineer's Report
7. Letter confirming the existing side extension is exempt
8. Photographs of the existing side extension
9. Receipt for Fee €80

I respectfully request that Limerick City and County Council issue a declaration confirming that the proposed works constitute exempted development under the Planning and Development Act 2000 (as amended).

Should any further information or clarification be required, please do not hesitate to contact me.

Yours faithfully,

Aoife Quinn and David O'Farrell



**OPINION  
ON COMPLIANCE WITH PLANNING PERMISSION  
AND/OR EXEMPTION FROM PLANNING CONTROL**

1. I Patrick McCarthy Building Engineering, Architectural and Surveying Consultant, member of the Chartered Institute of Building and the Association of Building Engineers have been in independent private practise as an Engineer since 1993 or thereabouts Being retained by Mark Murphy, Executor of the Estate of Michael leo Murphy, Deceased, "the Employer"

Re; 53 Shelbourne Park, Limerick.

Out building at side f house at 53 Shelbourne Park, Limerick, ("the Relevant Development") with Planning Permission an or exemption from planning control within the meaning of the Planning Acts. This Opinion is based on the Visual Inspection only of the Relevant Development ( no opening up was carried out) for the purpose of comparison of such with the Relevant Documents. It is issued solely for the purpose of providing evidence for title purposes of the exemption from planning control within the meaning of the Planning Acts. Except (insofar as it relates to such compliance/exemption it is not a report on the condition or structure of the Relevant Development.

3. I have provided the following services in connection with the Relevant Development:  
Providing opinion on exemption from planning control..

4. On 26<sup>th</sup> February 2025, I carried out an Inspection of the Relevant Development for the purposes of checking the exemption or otherwise from planning control within the meaning of the Planning Acts.

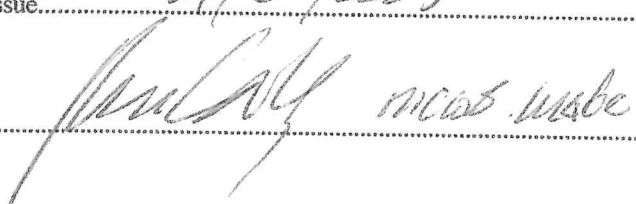
5. I am of the opinion that ....Based on the services provided at 3 above the Relevant Development, is exempt development under the Local Government ( Planning and Development) Regulations 2001, Schedule 2, Part 1, Class 3.

6. The out building is exempt from the Building Regulations under Statutory Instrument S.I.497 of 1997, Third Schedule Class 2.

**DEFINITIONS**

"Planning Acts" means the Local Government Planning and Development) Acts, 1963 to 2010 and any statutory modification or re-enactment thereof current at the Date of Issue of this Opinion, and all Regulations, Statutory Instruments and Orders made under or pursuant to the said Acts and for the time being in force.

Date of Issue..... 27/02/2025 .....

Signed.....  .....  
mcas.mabe

# Land Registry Compliant Map

Property 'A' Outlined in Red  
Signed: *Property maps made.*



Tailte  
Éireann

**CENTRE  
COORDINATES:**  
ITM 556594,657850

**PUBLISHED:** 28/02/2025  
**ORDER NO** 50451717\_1

**MAP SERIES:** 1:1,000  
**MAP SHEET** 4682-16

**COMPILED AND PUBLISHED**  
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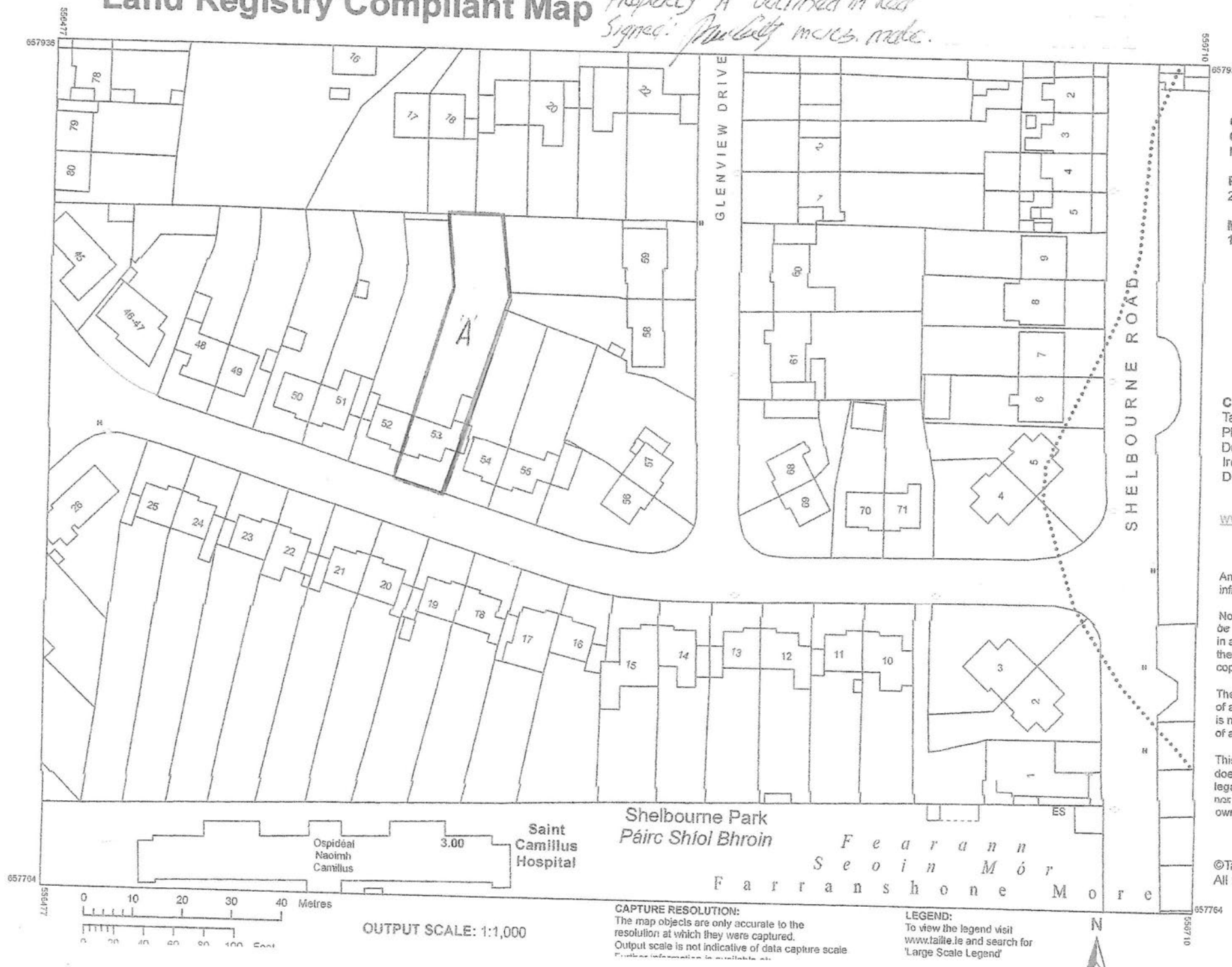
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of a right of way.

This topographic map  
does not show  
legal property boundaries,  
nor does it show  
ownership of physical features.

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LEGEND:

SITE BOUNDARY

EXISTING BUILDING



SITE LOCTAION  
SCALE 1:250

| Revision                             | Description | Initials            | Date |
|--------------------------------------|-------------|---------------------|------|
| Client AOIFE QUINN & DAVID O'FARRELL |             |                     |      |
| Project 53 SHELBOURN PARK            |             |                     |      |
| Dwg. Title SITE LOCATION             |             |                     |      |
| Drawn By NQ                          |             | Date 28/03/2026     |      |
| Checked by NQ                        |             | Scale AS SHOWN @ A1 |      |
| Dwg. Progress Construction           |             |                     |      |
| Dwg. No. 100 - REV 1                 |             |                     |      |

Property 'A' Declined in Real  
Signed: *Michael M. M. M. M.*

## Tailte Éirean

CENTRE  
COORDINATES:  
ITM 556594,657850

PUBLISHED: 28/02/2025 ORDER NO 50451717 1

MAP SERIES: 1:1,000  
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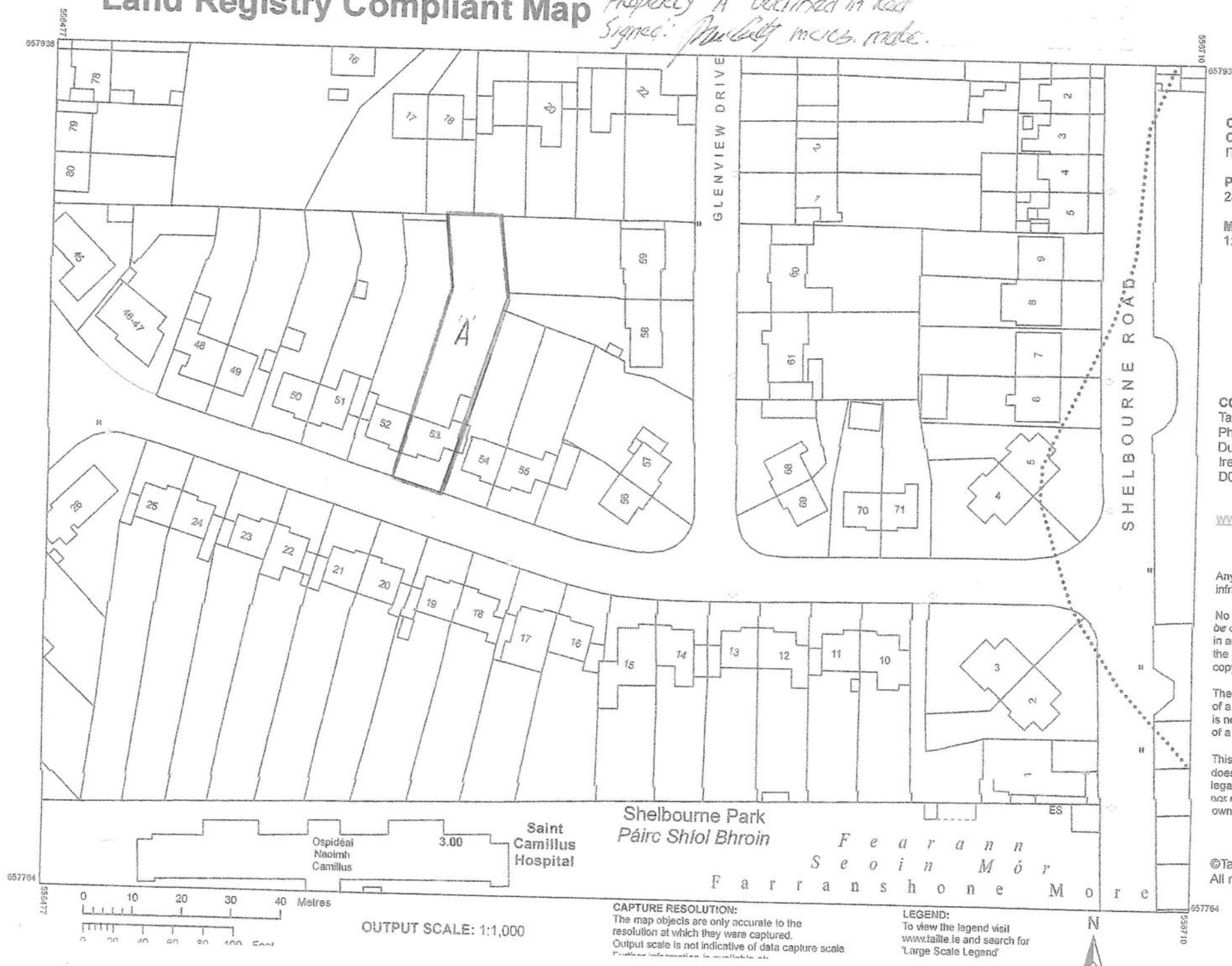
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nor does it show  
ownership of physical features.

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LEGEND:

SITE BOUNDARY

ASSUMED LINE OF EXISTING FOUL SEWER

ASSUMED LINE OF EXISTING FOUL/COMBINED SEWER

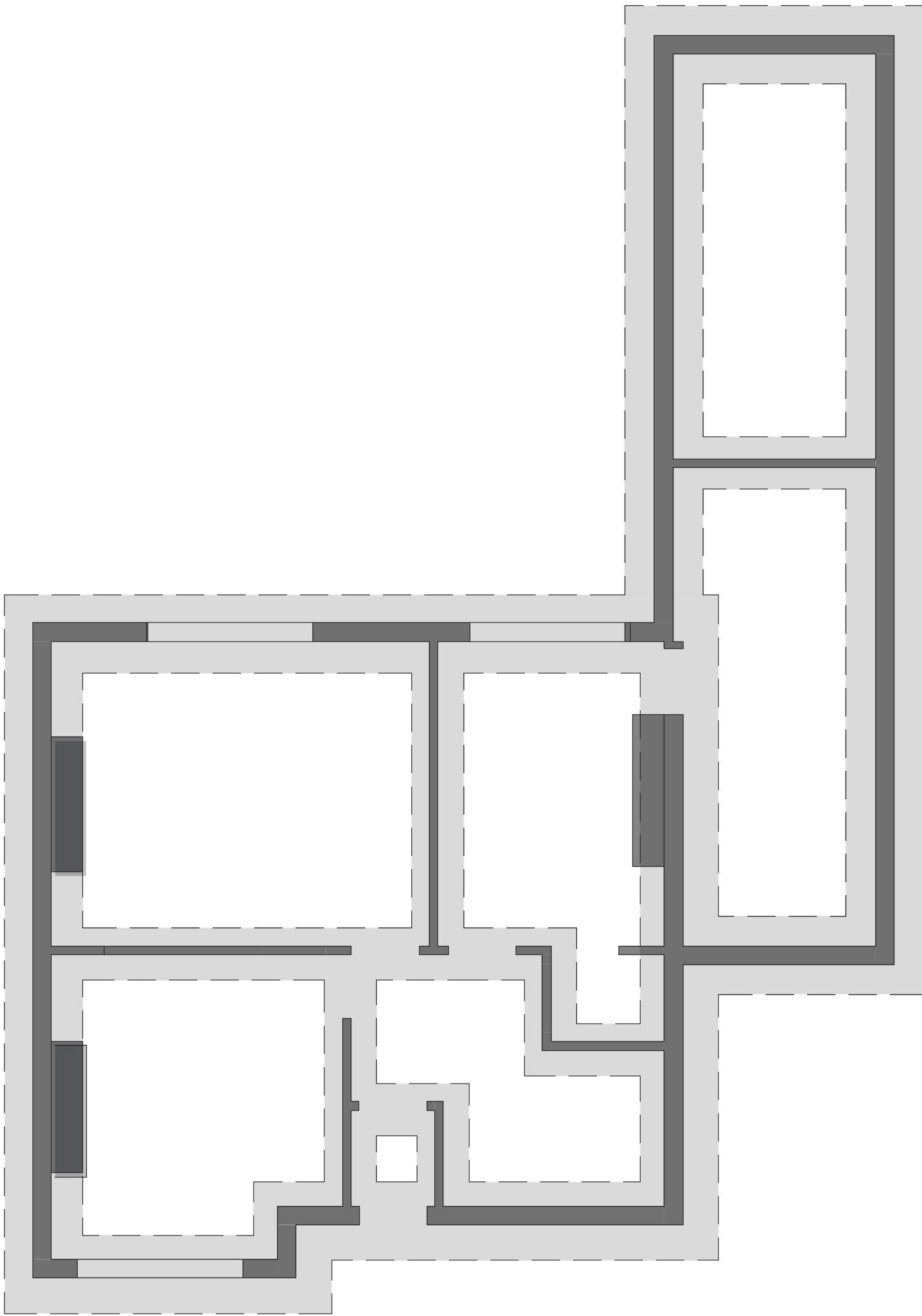
EXISTING AJ / MANHOLE

NEW FOUL AJ AS PER PART H OF THE BUILDING REGULATIONS

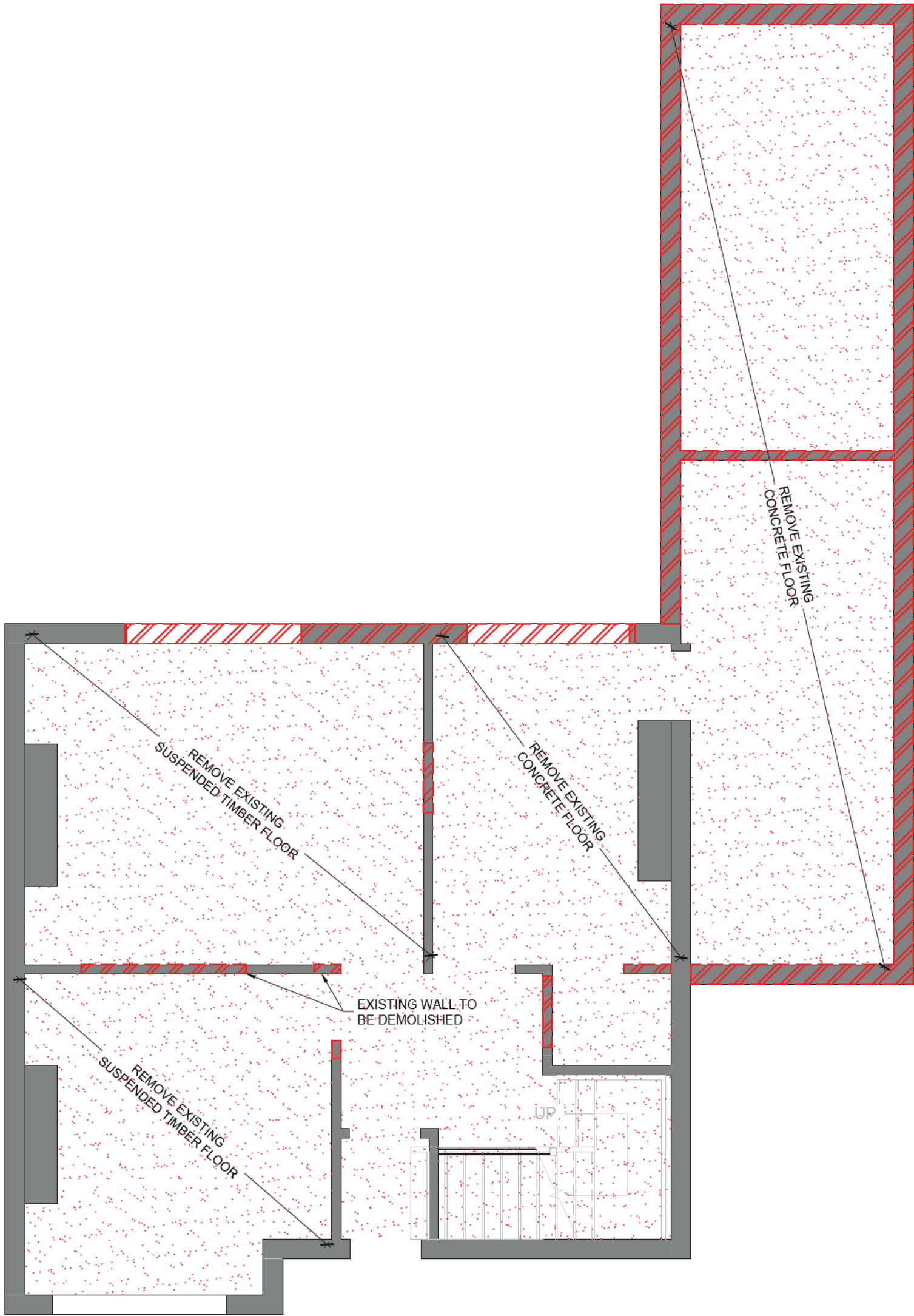
PROPOSED DRAINAGE LAYOUT  
SCALE 1:25

| Revision                             | Description  | Initials | Date          |
|--------------------------------------|--------------|----------|---------------|
| Client AOIFE QUINN & DAVID O'FARRELL |              |          |               |
| Project 53 SHELBOURN PARK            |              |          |               |
| Dwg. Title PROPOSED DRAINAGE LAYOUT  |              |          |               |
| Drawn By                             | NQ           | Date     | 28/03/2026    |
| Checked by                           | NQ           | Scale    | AS SHOWN @ A1 |
| Dwg. Progress                        | Construction |          |               |
| Dwg. No.                             | 100 - REV 1  |          |               |

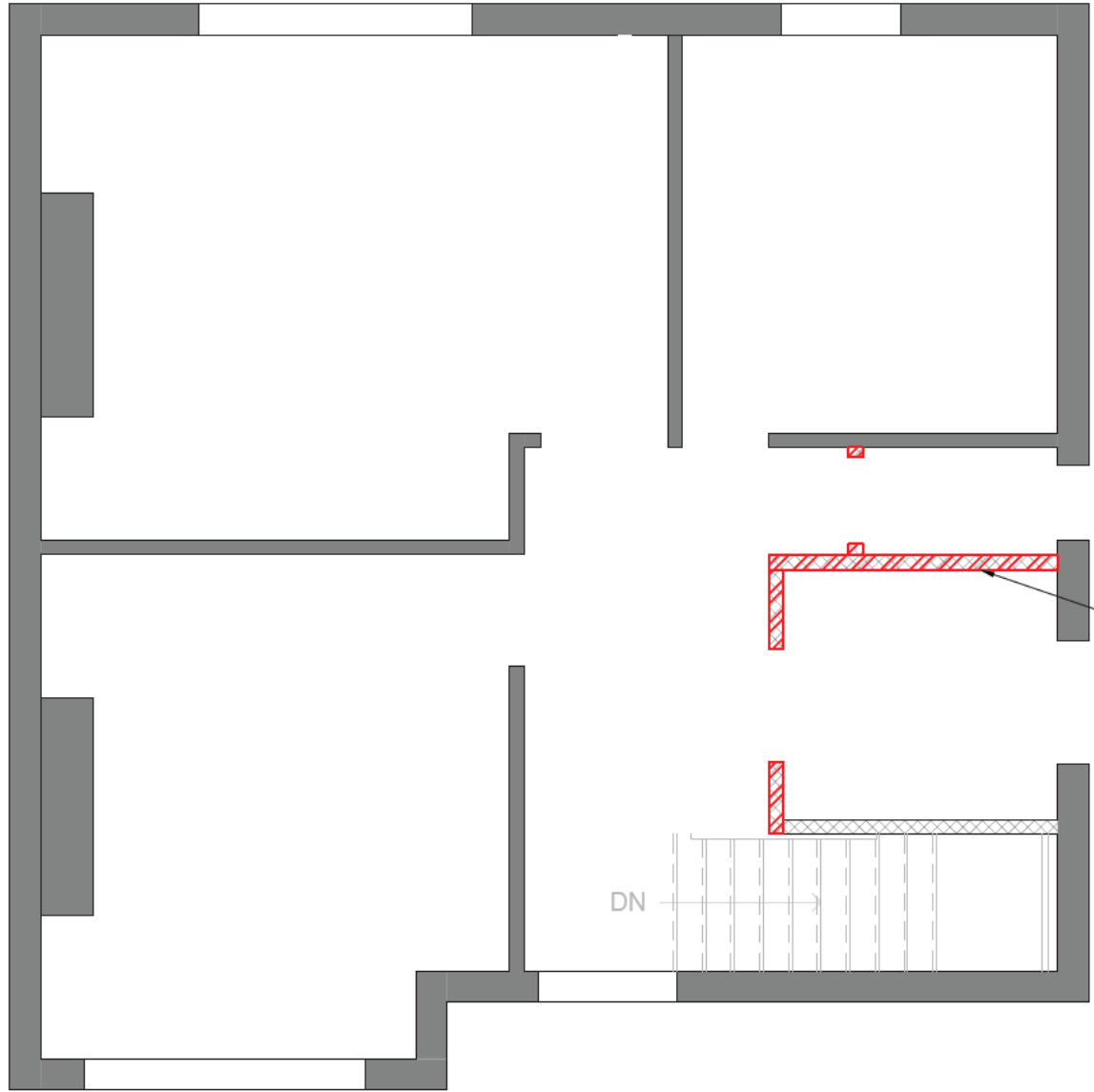




EXISTING FOUNDATION PLAN  
SCALE 1:50



EXISTING GROUND FLOOR & DEMOLITION PLAN  
SCALE 1:50



EXISTING FIRST FLOOR & DEMOLITION PLAN  
SCALE 1:50

LEGEND:

- ASSUMED LINE OF EXISTING FOUNDATIONS
- EXISTING MASONRY WALL
- EXISTING STUD WALL
- EXISTING WALL TO BE DEMOLISHED
- EXISTING FLOOR TO BE REMOVED

NOTE:  
CONTRACTOR TO ALLOW FOR:  
1. REMOVAL OF ALL PLASTER TO ALL INTERNAL WALLS WHERE DRY LINING WILL BE PLACED  
2. REMOVAL OF ALL EXISTING KITCHEN AND BATHROOM UNITS  
3. REMOVAL OF ALL DEMOLISHED MATERIAL TO A LICENSED RECYCLING/LANDFILL FACILITY  
4. ANY ASBESTOS CONTAINING MATERIALS THAT ARE TO BE REMOVED SHALL BE REMOVED BY A SPECIALIST

NOTE: EXISTING FOUNDATIONS HAVE BEEN ASSUMED. TO BE ESTABLISHED ON SITE PRIOR TO CONSTRUCTION

## 1.0 GENERAL

- 1.1 NO DIMENSIONS SHALL BE SCALED FROM THIS DRAWING. ALL DIMENSIONS SHALL BE ESTABLISHED ON SITE.
- 1.2 THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN THE PLANS AND THE SECTIONS
- 1.3 THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN DRAWINGS AND SITE CONDITIONS BEFORE IMPLEMENTING THE WORK
- 1.4 ANY TEMPORARY WORKS NECESSARY SHALL BE THE SOLE RESPONSIBILITY OF THE MAIN CONTRACTOR.
- 1.5 ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ONE ANOTHER

## 2.0 FOUNDATIONS

- 2.1 ALL FOUNDATIONS ARE SUBJECT TO SITE CONDITIONS AND MAY BE VARIED AS THE WORKS PROCEED.
- 2.2 ALL FOUNDATIONS ARE SUBJECT TO THE APPROVAL THE ENGINEER. THE ENGINEER MAY REQUIRE TO INSPECT THE FORMATION OF ANY BASE PRIOR TO THE BLINDING OR CONCRETE WORK.

- 2.3 NEW FOUNDATION FORMATION LEVEL TO MATCH EXISTING LEVEL, SUBJECT TO APPROVAL OF THE ENGINEER.

## 3.0 CONCRETE

- 3.1 CONCRETE SHALL BE GRADE C30 UNLESS NOTED OTHERWISE.
- 3.2 LEAN MIX CONCRETE SHALL BE GRADE C10.
- 3.3 READY MIXED CONCRETE MAY BE USED PROVIDED THAT IT SHALL BE PRODUCED AT AN APPROVED DEPOT. ALL CONSTITUENTS FOR EACH MIX SHALL BE ADDED AT THE MANUFACTURERS DEPOT. NO EXTRA WATER OR OTHER MATERIAL SHALL BE ADDED AFTER THE CONCRETE HAS LEFT THE DEPOT.
- 3.4 CALCIUM CHLORIDE OR ADMIXTURES CONTAINING CALCIUM CHLORIDE WILL NOT BE PERMITTED.
- 3.5 ACCEPTABLE SAFE LOAD TABLES MUST BE PROVIDED BY THE SUPPLIER OF ANY CONCRETE LINTELS.
- 3.6 ALL REINFORCEMENT MARKED 'T' SHALL BE HIGH YIELD HIGH BOND BARS COMPLYING WITH BS 4449 OR BS 4461. REINFORCEMENT MARKED 'R' SHALL BE MILD STEEL COMPLYING WITH BS 4449.
- 3.7 REINFORCEMENT FABRIC SHALL COMPLY WITH BS 4483.
- 3.8 ALL REINFORCED CONCRETE SHALL BE WELL VIBRATED IN ITS FORMWORK USING MECHANICAL FORKERS OF APPROPRIATE TYPE.
- 3.9 ALL MATERIALS AND WORKMANSHIP SHALL COMPLY WITH BS 810.
- 3.10 APPROVAL MUST BE OBTAINED FOR THE POSITION AF ANY CONSTRUCTION JOINT REQUIRED BY THE CONTRACTOR AND FOR THE METHODS OF FORMING AND PREPARING THE JOINTS BEFORE THE WORK STARTS ON SITE.
- 3.11 WHEN DIRECTED ALL TESTS ON WET OR HARDENED CONCRETE SHALL BE CARRIED OUT IN ACCORDANCE WITH BS 1881.

## 4.0 STRUCTURAL STEELWORK

- 4.1 ALL STRUCTURAL STEEL SHALL BE GRADE S355 UNLESS NOTED OTHERWISE.
- 4.2 THE STRUCTURAL STEELWORK SUPPLIER SHALL TAKE ALL SITE DIMENSIONS NECESSARY. PRODUCE SHOP FABRICATION DRAWINGS AND SUBMIT THEM TO THE ENGINEER FOR HIS INSPECTION. NO FABRICATION TO BE CARRIED OUT WITHOUT THE ENGINEERS AGREEMENT. UNLESS OTHERWISE SHOWN ON THE DRAWINGS THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE CONNECTIONS TO SATISFY THE LOADS SHOWN ON THE DRAWINGS OR CALCULABLE FROM THE INFORMATION GIVEN.
- 4.3 ALL WELDING SHALL BE CARRIED OUT BY APPROPRIATELY CERTIFICATED WELDERS.
- 4.4 ALL BOLTS SHALL BE GRADE 8.8 BOLTS UNLESS NOTED OTHERWISE.
- 4.5 ALL BEAMS WITH END CAST INTO CONCRETE SHALL BE SUPPLIED WITH 2 NO 50x 50 x 5 R5A END CLEATS WELDED TO THEIR WEBS.
- 4.6 ALL STRUCTURAL STEELWORK SHALL BE CLEANED OF ALL RUST, MILL SCALE, GREASE ETC.
- 4.7 UNLESS NOTED OTHERWISE ALL STRUCTURAL STEELWORK INCLUDING BOLTS AND CONNECTIONS, EXCEPT THAT WHICH IS TO BE CASED IN CONCRETE, SHALL BE PAINTED WITH 2 COATS OF ZINC PHOSPHATE PRIMER OR SIMILAR APPROVED.

- 4.8 ALL MATERIALS AND WORKMANSHIP SHALL COMPLY WITH BS 5950.

## 5.0 BRICKWORK AND BLOCKWORK

- 5.1 NOMINAL MORTAR MIXES BY VOLUME ARE APPROPRIATE FOR SAND GRADED TO BS 1200.
- 5.2 BRICKS SHALL BE 50/35 N/mm<sup>2</sup> BRICKS IN 1:1:6 MORTAR U.N.O.
- 5.3 FACING BRICKS SHALL BE TO THE ARCHITECTS CHOICE AND SHALL BE SUITABLE FOR THE PURPOSE.
- 5.4 BRICKS BELOW DPC LEVEL SHALL BE SUITABLE FOR THE PURPOSE
- 5.5 THE LAYING OF SINGLE FROG UNITS FROG DOWN SHALL NOT BE PERMITTED IN LOAD BEARING WALLING. DOUBLE FROGGED UNITS SHALL BE LAID WITH THE LARGER FROG UPPERMOST.
- 5.6 ALL MATERIALS AND WORKMANSHIP SHALL COMPLY WITH BS 5628 PARTS 1 AND 3.
- 5.7 ALL BLOCKWORK BELOW GROUND AND UP TO 150mm ABOVE GROUND SHALL HAVE A MEAN DECLARED COMPRESSIVE STRENGTH OF 13N/mm<sup>2</sup>. ALL OTHER BLOCK WORK TO HAVE A MEAN DECLARED COMPRESSIVE STRENGTH OF 7.5N/mm<sup>2</sup>. BLOCKS IN 1:1:6 MORTAR U.N.O.

## 6.0 TIMBER

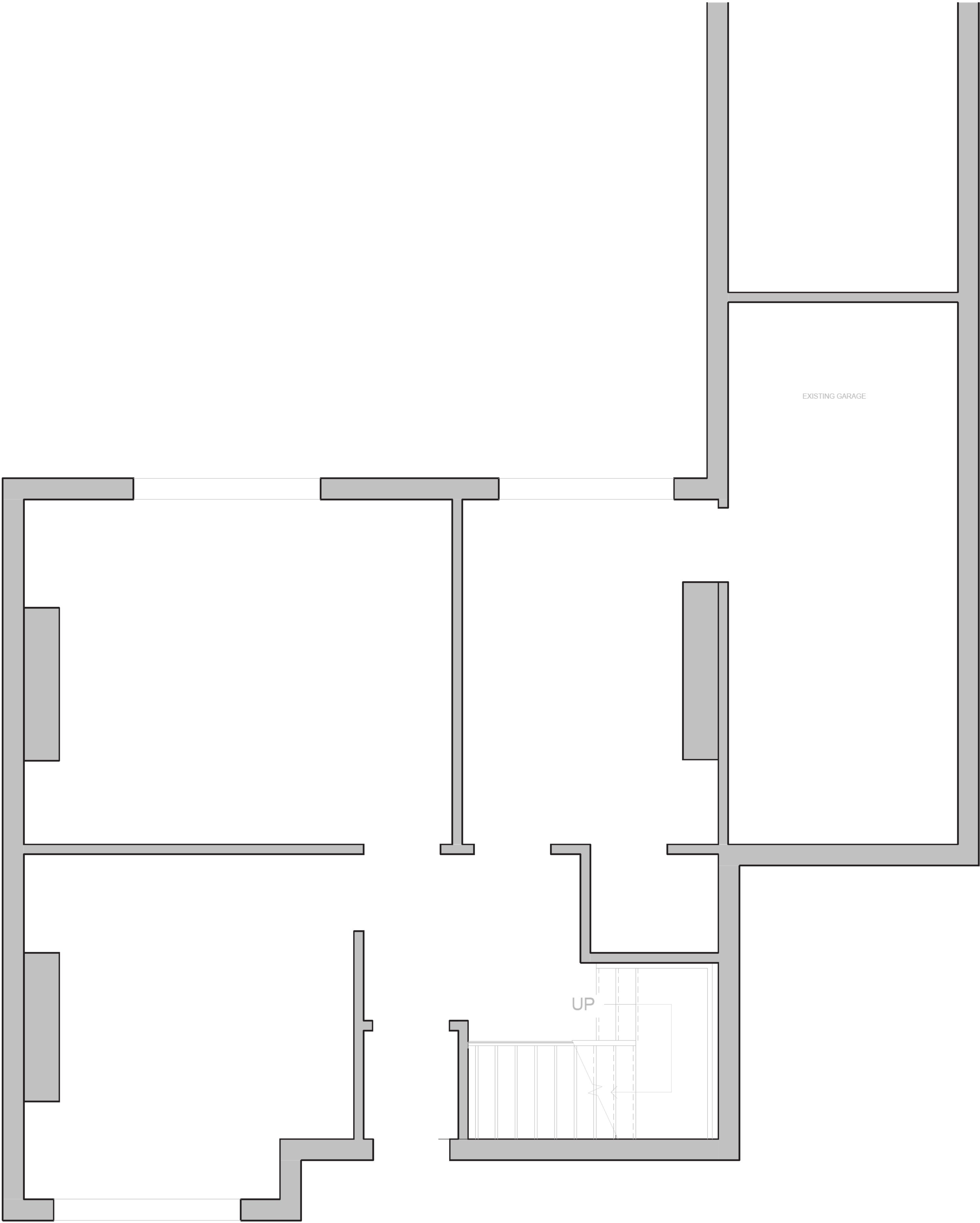
- 6.1 ALL TIMBER SHALL BE MINIMUM GRADE C16 TO IS 444 UNLESS NOTED OTHERWISE. SERVICE MOISTURE CONTENT SHALL NOT EXCEED 18%. MOISTURE CONTENT ON ERECTION SHALL BE WITHIN 3% OF SERVICE MOISTURE CONTENT.
- 6.2 ALL ROOF AND MANSARD TIMBERS SHALL BE TREATED WITH ORGANIC SOLVENT BY DOUBLE VACUUM PROCESS.
- 6.3 ALL TIMBER IN CONTACT WITH MASONRY EXTERNAL WALLS SHALL BE TREATED WITH ORGANIC SOLVENT BY DOUBLE VACUUM PROCESS.
- 6.4 JOIST HANGERS BUILT INTO NEW BRICKWORK SHALL BE CAVITY WALL TYPE HANGERS. ALL JOIST HANGERS SHALL BE HEAVY DUTY TYPE FABRICATED IN ACCORDANCE WITH BS 6178 PART 1: 1982 FROM 2.5mm MILD STEEL AND SHALL BE HOT DIP GALVANISED TO BS 729: 1971.
- 6.5 ALL DOUBLE JOISTS SHALL BE BOLTED TOGETHER WITH 12mm DIAMETER HOT DIP GALVANISED BOLTS AT 450 CENTRES STAGGERED TOP AND BOTTOM.
- 6.6 ALL MATERIALS AND WORKMANSHIP SHALL COMPLY WITH BS 5268 PARTS 2 AND 3.

## 7.0 DEMOLITIONS

- 7.1 DEMOLITION WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE FOLLOWING:
  - BS 6187 AND BS 5228
  - SI 138 SAFETY HEALTH & WELFARE AT WORK (CONSTRUCTION) REGULATIONS 1995.
  - AIR POLLUTION ACT 1987.
  - ENVIRONMENTAL PROTECTION AGENCY ACT 1993.
- 7.2 ADEQUATE PRECAUTIONS SHALL BE TAKEN TO PROVIDE PROTECTION OF BUILDINGS AGAINST FIRE DAMAGE DURING SITE WELDING.
- 7.3 DEMOLITION WORK SHALL BE CARRIED OUT IN SUCH A MANNER AS SHALL CAUSE AS LITTLE INCONVENIENCE AS POSSIBLE TO ADJOINING OWNERS OR THE PUBLIC.
- 7.4 THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE STRENGTH, ADEQUACY AND STABILITY OF ANY NECESSARY SHORING, PROPPING, NEEDLING, STRUTTING AND THE LIKE AND SHALL BE RESPONSIBLE FOR MAKING GOOD LOSS OR DAMAGE RESULTING FROM ANY FAILURE IN THIS RESPECT.

| Revision                                      | Description  | Initials | Date          |
|-----------------------------------------------|--------------|----------|---------------|
| Client: AOIFE QUINN & DAVID O'FARRELL         |              |          |               |
| Project: 53 SHELBOURN PARK                    |              |          |               |
| Dwg. Title: EXISTING PLANS & DEMOLITION WORKS |              |          |               |
| Drawn By                                      | NQ           | Date     | 28/03/2026    |
| Checked by                                    | NQ           | Scale    | AS SHOWN @ A1 |
| Dwg. Progress                                 | CONSTRUCTION |          |               |
| Dwg. No.                                      | 010 - REV 1  |          |               |



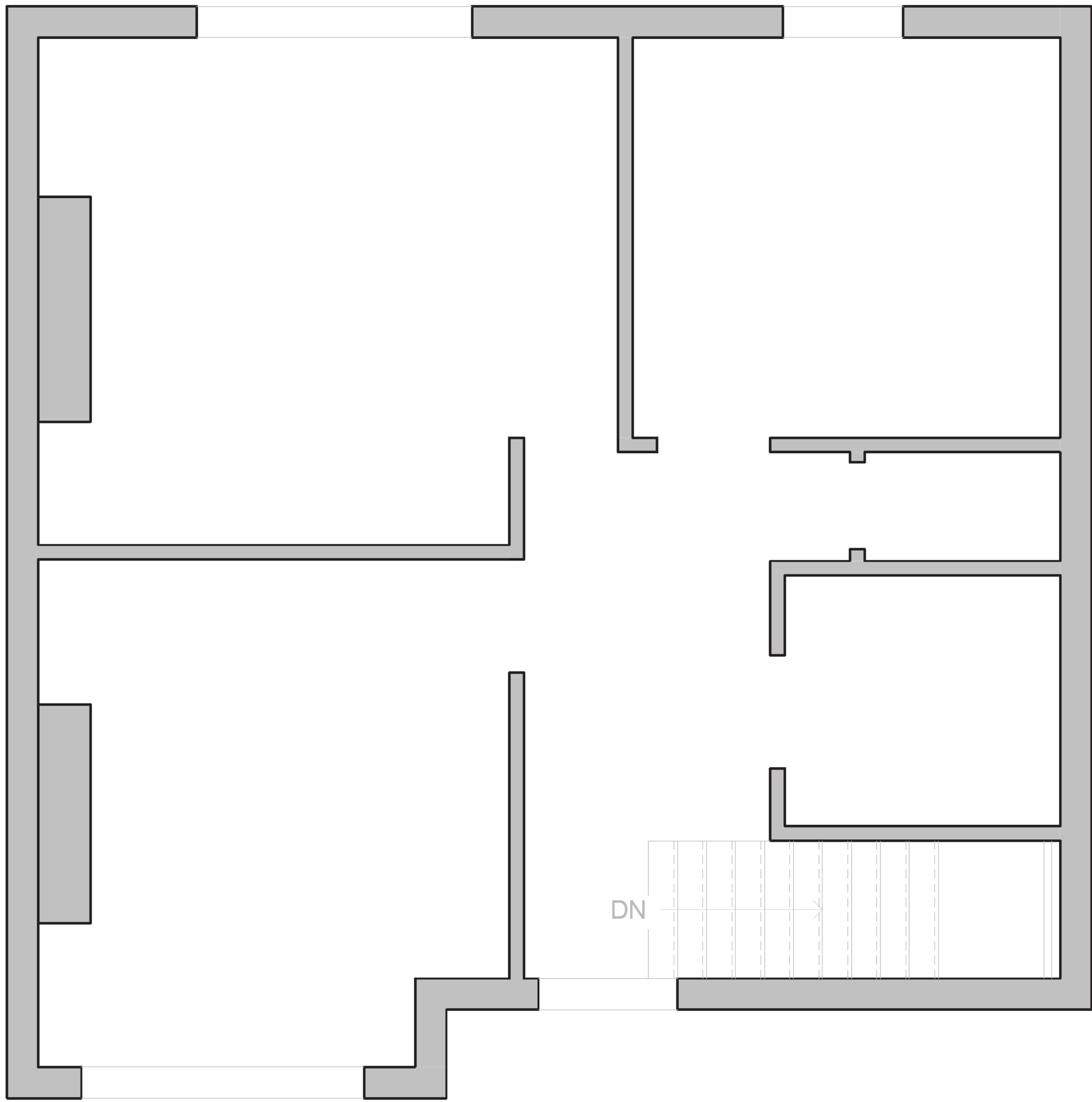


EXISTING GROUND FLOOR PLAN

SCALE 1:25

LEGEND:

EXISTING WALL



EXISTING FIRST FLOOR PLAN

SCALE 1:25

|           |                            |        |               |
|-----------|----------------------------|--------|---------------|
| PROJECT:  | SHELLBOURNE PARK, LIMERICK |        |               |
| TITLE:    | EXISTING FLOOR PLANS       |        |               |
| PRODUCER: | N.Q.                       | SCALE: | AS SHOWN @ A1 |
| DATE:     | 22/11/2025                 |        |               |

GROUND FLOOR  
69.1 sq.m. approx.



1ST FLOOR  
45.2 sq.m. approx.



TOTAL FLOOR AREA : 114.3 sq.m. approx.

Not to scale, visualization only  
Made with Memento 02025





- NOTES:
- 1. ALL DIMENSIONS ARE IN MILLIMETRES AND LEVELS IN METRES UNLESS NOTED OTHERWISE.
  - 2. USE FIGURED DIMENSIONS ONLY. DO NOT SCALE.
  - 3. DRAWINGS TO BE READ IN CONJUNCTION WITH ALL RELEVANT ENGINEER'S, ARCHITECTS AND SERVICE ENGINEER'S DRAWINGS AND SPECIFICATIONS.
  - 4. ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH CURRENT BUILDING REGULATIONS.

| REV. | DESCRIPTION | PROD. | VERIF. | APPR. | DATE |
|------|-------------|-------|--------|-------|------|
|------|-------------|-------|--------|-------|------|

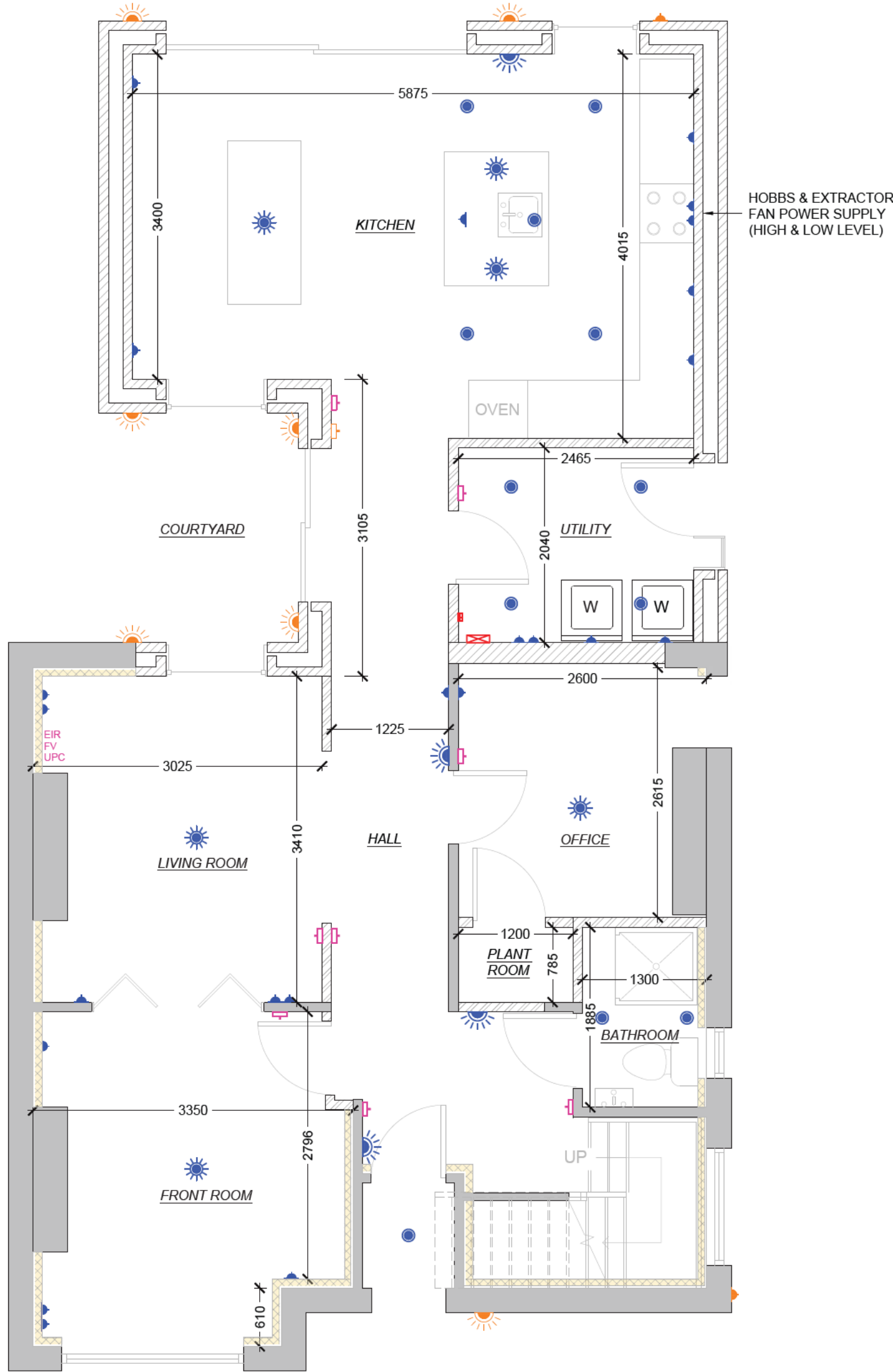
DRAWING STATUS

|                 |    |                         |      |
|-----------------|----|-------------------------|------|
| CLIENT:         |    | XXXXX<br>XXXXX<br>XXXXX |      |
| PROJECT:        |    | XXXXX<br>XXXXX<br>XXXXX |      |
| TITLE:<br>XXXXX |    |                         |      |
| DATE: XXXXXXXX  |    | SCALE: 1:100 @ A1       |      |
| DESIGNER:       | XX | DRG. No.                | REV. |
| PRODUCER:       | XX | XXXXXX-XXX              | X    |
| VERIFIER:       | XX |                         |      |
| APPROVER:       | XX |                         |      |

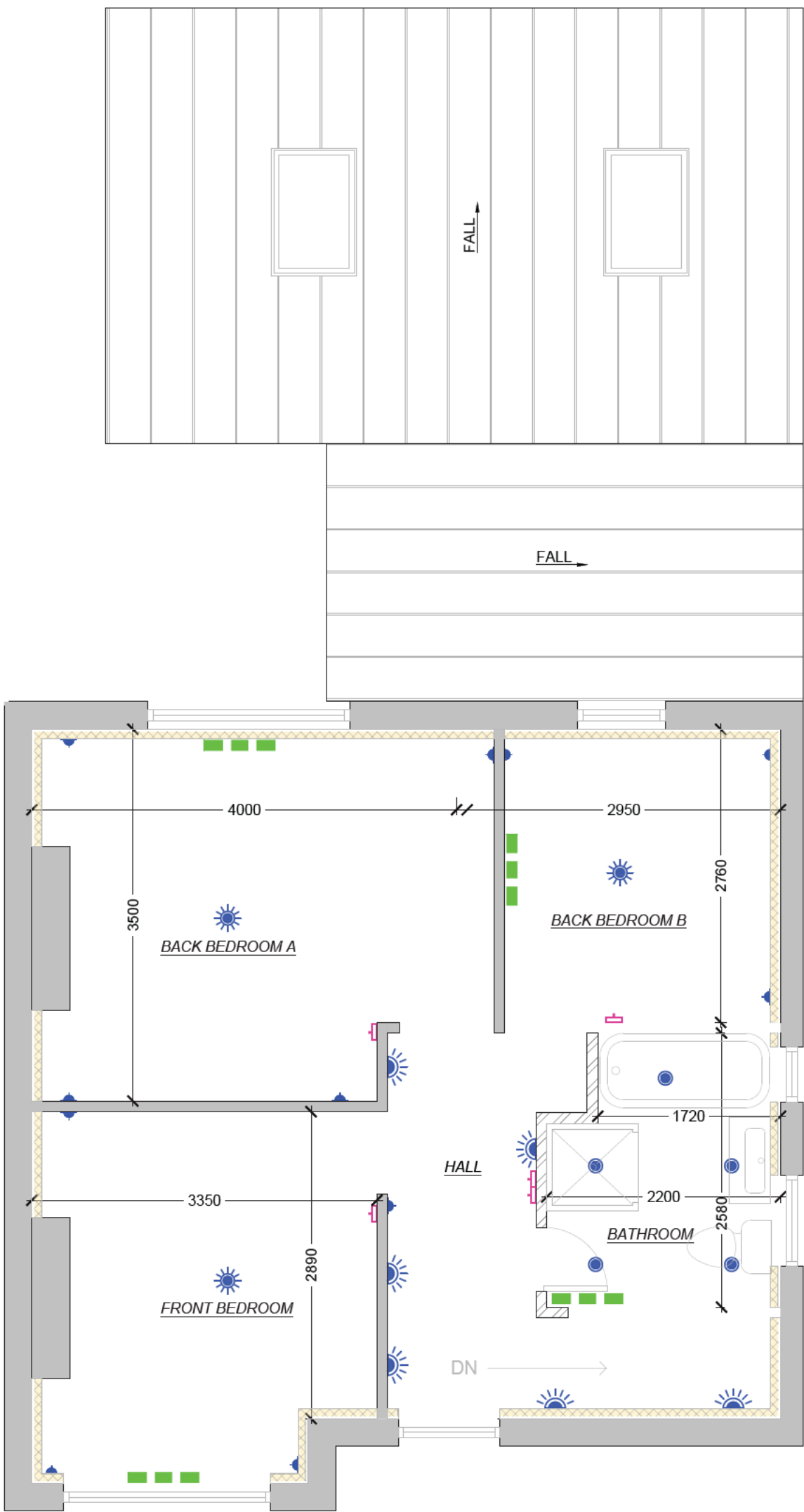


LEGEND:

- DOUBLE ELECTRICAL SOCKET
- DOUBLE EXTERNAL ELECTRICAL SOCKET
- LIGHT SWITCH
- LIGHT SWITCH FOR EXTERNAL LIGHTS
- EIRCOM POINT
- FREE VIEW SATELLITE POINT
- UPC POINT
- FUSE BOX
- BOILER CONTROLS
- NEW SPOT LIGHTS ABOVE
- NEW TRADITIONAL HANGING LIGHT ABOVE
- NEW WALL LIGHTS
- NEW EXTERNAL WALL LIGHTS
- NEW RADIATOR



PROPOSED GROUND FLOOR PLAN  
SCALE 1:50



PROPOSED FIRST FLOOR PLAN  
SCALE 1:50

1.0 GENERAL

SEE NOTES ON DRAWING NO. 010

RADIATOR SCHEDULE:

- REFER TO CENTRAL HEATING REQUIREMENTS SECTION FOR ADDITIONAL RADIATOR REQUIREMENTS.
- RADIATOR STYLE TO BE AGREED WITH CLIENT PRIOR TO ORDERING

| ROOM           | STYLE              | REQUIRED BTU | REQUIRED WATTS |
|----------------|--------------------|--------------|----------------|
| FRONT BEDROOM  | TRADITIONAL COLUMN | 2400         | 1100           |
| BACK BEDROOM A | TRADITIONAL COLUMN | 2950         | 1400           |
| BACK BEDROOM B | TRADITIONAL COLUMN | 1700         | 820            |
| BATHROOM       | TOWEL              | 1200         | 600            |

WINDOW SCHEDULE:

- ALL WINDOWS SHALL BE TRIPLE GLAZED
- ALL WINDOWS TO HAVE MINIMUM U-VALUE OF 1.0W/m²K
- DIMENSIONS ARE APPROXIMATE AND EXISTING WINDOW OPENS SHALL BE MEASURED ON SITE
- ALL WINDOWS TO BE AGREED WITH CLIENT PRIOR TO ORDERING
- ALLOW FOR NEW INTERNAL WINDOW CILLS TO EXISTING WINDOW OPENINGS TO BE AGREED WITH CLIENT

| ROOM          | STYLE                     | DIMENSIONS (WxH) |
|---------------|---------------------------|------------------|
| DOWNSTAIRS:   |                           |                  |
| FRONT ROOM    | PVC HERITAGE SLIDING SASH | 1940x1140        |
| LIVING ROOM   | PVC HERITAGE SLIDING SASH | 1060x2090        |
| STAIR LANDING | PVC CASEMENT              | 1260x940         |
| BATHROOM      | PVC CASEMENT              | 530x730          |
| KITCHEN 1     | PVC CASEMENT              | 920x2090         |
| KITCHEN 2     | PVC CASEMENT              | 1060x2090        |
| KITCHEN 3     | VELUX ROOF LIGHT          | 800x1200         |
| KITCHEN 4     | VELUX ROOF LIGHT          | 800x1200         |

|                |                           |           |
|----------------|---------------------------|-----------|
| UPSTAIRS:      |                           |           |
| FRONT BEDROOM  | PVC HERITAGE SLIDING SASH | 1940x1140 |
| BACK BEDROOM A | PVC CASEMENT              | 1900x1200 |
| BACK BEDROOM B | PVC CASEMENT              | 830x750   |
| BATHROOM 1     | PVC CASEMENT              | 520x780   |
| BATHROOM 2     | PVC CASEMENT              | 880x860   |
| HALL           | PVC HERITAGE SLIDING SASH | 650x800   |

DOOR SCHEDULE:

- ALL RETAINED EXISTING DOORS TO BE STRIPPED & PAINTED WITH 2No COATS OF GLOSS PAINT. DOOR FRAME AND THRESHOLD TO BE STRIPPED ALSO.
- CONTRACTOR TO ALLOW FOR REPLACEMENT OF HANDLES TO ALL EXISTING DOOR, NEW HANDLES TO BE SUPPLIED BY CLIENT.
- FRAME ADJUSTED - DOOR FRAMES TO BE ADJUSTED TO ACCOUNT FOR THE WIDTH OF THE DRY LINING INSULATIONS IN SOME LOCATIONS DOOR WIDTH TO BE ADJUSTED ALSO.
- NEW EXTERNAL DOORS TO HAVE MINIMUM U-VALUE OF 1.4 W/m²K.
- ALL DOORS TO BE AGREED WITH CLIENT PRIOR TO ORDERING

| ROOM                     | WORKS                                                                                           |
|--------------------------|-------------------------------------------------------------------------------------------------|
| FRONT DOOR               | NEW DOOR WITH GLAZING PANELS (TO BE AGREED WITH CLIENT)                                         |
| FRONT ROOM / HALL        | NEW FROSTED GLASS DOOR (TO BE AGREED WITH CLIENT)                                               |
| BATHROOM / HALL          | NEW ENGINEERED WOOD DOOR (TO BE AGREED WITH CLIENT)                                             |
| FRONT ROOM / LIVING ROOM | NEW BI-FOLD DOOR WITH GLAZING PANELS (TO BE AGREED WITH CLIENT)                                 |
| OFFICE / PLANT ROOM      | NEW ENGINEERED WOOD DOOR (TO BE AGREED WITH CLIENT)                                             |
| OFFICE / HALL            | NEW ENGINEERED WOOD DOOR (TO BE AGREED WITH CLIENT)                                             |
| COURTYARD / HALL         | NEW GLAZED SLIDING DOOR (TO BE AGREED WITH CLIENT)                                              |
| UTILITY / HALL           | NEW DOOR WITH GLAZING PANELS (TO BE AGREED WITH CLIENT)                                         |
| EXTERNAL UTILITY         | NEW DOOR WITH GLAZING PANELS AND FULL HEIGHT CASEMENT WINDOW TO SIDE (TO BE AGREED WITH CLIENT) |
| EXTERNAL KITCHEN         | NEW BI-FOLD DOOR WITH GLAZING PANELS (TO BE AGREED WITH CLIENT)                                 |
| FRONT BEDROOM            | ORIGINAL DOOR STRIPPED AND REPAINTED                                                            |
| BACK BEDROOM A           | ORIGINAL DOOR STRIPPED AND REPAINTED                                                            |
| BACK BEDROOM B           | ORIGINAL DOOR STRIPPED AND REPAINTED                                                            |
| BATHROOM                 | ORIGINAL DOOR STRIPPED AND REPAINTED                                                            |

FINISHES SCHEDULE:

| ROOM           | FINISH                                                                                                                                                                                   |
|----------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| HALL           | CONTRACTOR TO PRICE FOR ADHESIVE GROUT, LABOUR AND LAYING OF 300 x 600 x14mm THICK TILES TO FLOOR                                                                                        |
| KITCHEN        | CONTRACTOR TO PRICE FOR ADHESIVE GROUT, LABOUR AND LAYING OF 300 x 600 x14mm THICK TILES TO FLOOR, CONTRACTOR TO PRICE FOR LAYING OF 160 x 52 x 10mm THICK TILES TO KITCHEN COUNTER WALL |
| LIVING ROOM    | CONTRACTOR TO PRICE FOR ADHESIVE GROUT, LABOUR AND LAYING OF 300 x 600 x14mm THICK TILES TO FLOOR                                                                                        |
| BATHROOM       | CONTRACTOR TO PRICE FOR ADHESIVE GROUT, LABOUR AND LAYING OF 300 x 600 x14mm THICK TILES TO FLOOR AND SURROUNDING SHOWER                                                                 |
| UTILITY        | CONTRACTOR TO PRICE FOR ADHESIVE GROUT, LABOUR AND LAYING OF 300 x 600 x14mm THICK TILES TO FLOOR                                                                                        |
| FRONT ROOM     | LAMINATE FLOORING ON 15mm PLYWOOD (TO BE AGREED WITH CLIENT)                                                                                                                             |
| OFFICE         | LAMINATE FLOORING ON 15mm PLYWOOD (TO BE AGREED WITH CLIENT)                                                                                                                             |
| PLANT ROOM     | LAMINATE FLOORING ON 15mm PLYWOOD (TO BE AGREED WITH CLIENT)                                                                                                                             |
| FRONT BEDROOM  | EXPOSED TIMBER FLOORS, ALLOW FOR SANDING AND VARNISHING OR EXISTING FLOOR BOARDS                                                                                                         |
| BACK BEDROOM A | EXPOSED TIMBER FLOORS, ALLOW FOR SANDING AND VARNISHING OR EXISTING FLOOR BOARDS                                                                                                         |
| BACK BEDROOM B | EXPOSED TIMBER FLOORS, ALLOW FOR SANDING AND VARNISHING OR EXISTING FLOOR BOARDS                                                                                                         |
| HALL           | EXPOSED TIMBER FLOORS, ALLOW FOR SANDING AND VARNISHING OR EXISTING FLOOR BOARDS                                                                                                         |
| BATHROOM       | CONTRACTOR TO PRICE FOR ADHESIVE GROUT, LABOUR AND LAYING OF 300 x 600 x14mm THICK TILES TO FLOOR AND WALLS                                                                              |

CENTRAL HEATING REQUIREMENTS:

THE CENTRAL HEATING SYSTEM IS TO HAVE THE FOLLOWING MINIMUM REQUIREMENTS:

- HIGH EFFICIENCY AIR TO WATER HEAT PUMP SYSTEM. SYSTEM TO BE SIZED FOR A 175m² PROPERTY.
- HEAT PUMP UNIT TO BE LISTED ON THE SEAI AND COMPLY WITH ECODESIGN AND RELEVANT EU DIRECTIVES.
- ALL RADIATORS TO BE FITTED WITH THERMOSTATIC RADIATOR VALVES (TRVs) WHERE APPLICABLE
- ZONED HEATING SYSTEM WITH INDEPENDENT TIME AND TEMPERATURE CONTROL. ZONES AS FOLLOWS:
  - ZONE 1 = DOWNSTAIRS
  - ZONE 2 = UPSTAIRS
- WEATHER COMPENSATION CONTROLS TO BE PROVIDED TO OPTIMISE SYSTEM EFFICIENCY BASED ON EXTERNAL TEMPERATURE
- HEAT PUMP CONTROLS TO INCLUDE:
  - INTERGRATED CONTROLLER WITH A 7 DAY PROGRAMMABLE TIMER
  - TIME AND TEMPERATURE CONTROL FOR SPACE HEATING AND DOMESTIC HOT WATER
  - SMART CONTROLS WHERE APPLICABLE
- ALL PLUMBING TO BE UNDERTAKEN WITH COPPER PIPE OR SIMILAR APPROVED.
- SYSTEM COMMISSIONING TO BE IN ACCORDANCE WITH SEAI REQUIREMENTS.

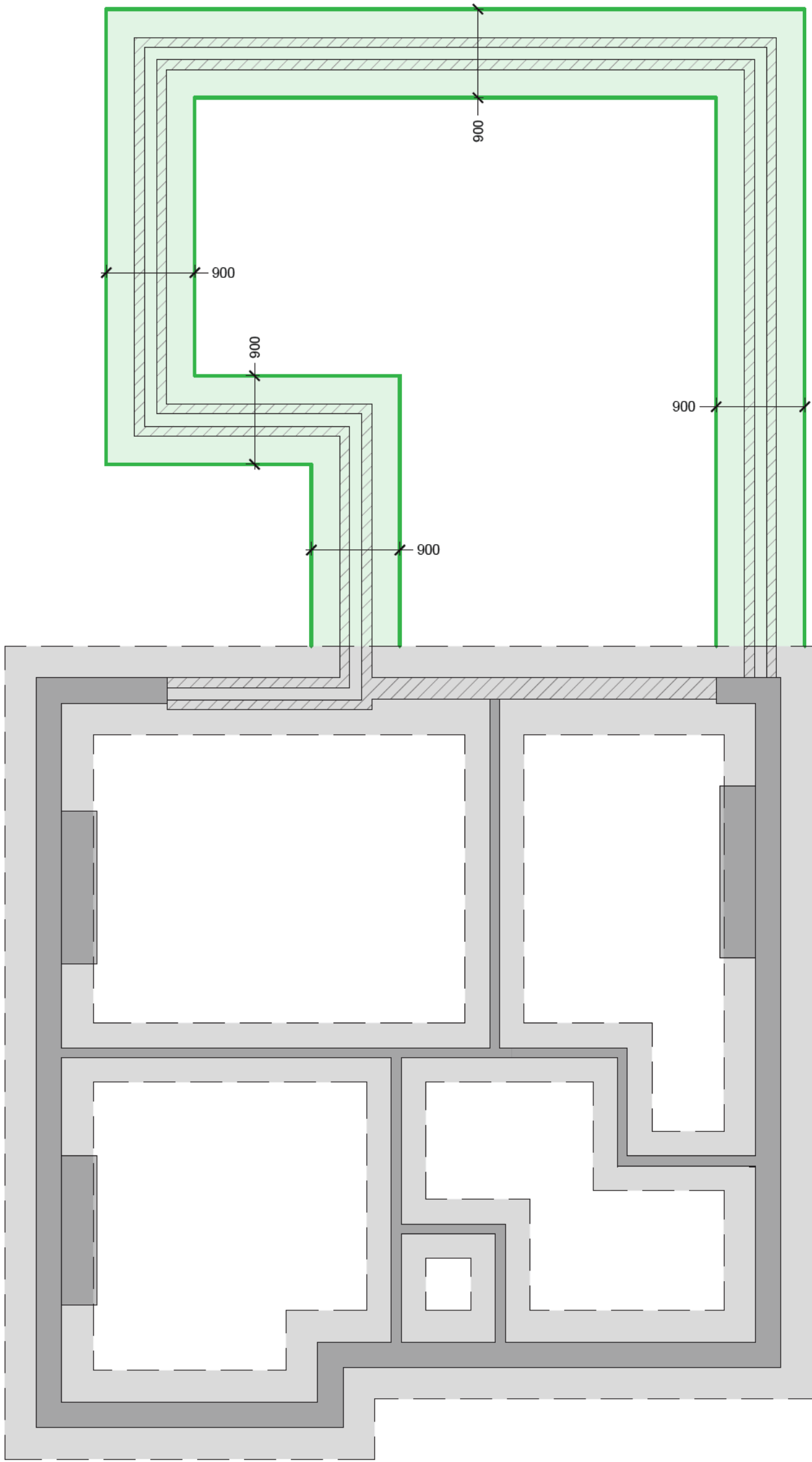
HIGH EFFICIENCY BOILER AND HEATING CONTROLS TO MEET THE REQUIREMENTS OF THE SEAI BETTER ENERGY HOMES SCHEME. CONTRACTOR TO ASSIST CLIENT IN GRANT APPLICATIONS.

INSULATION REQUIREMENTS:

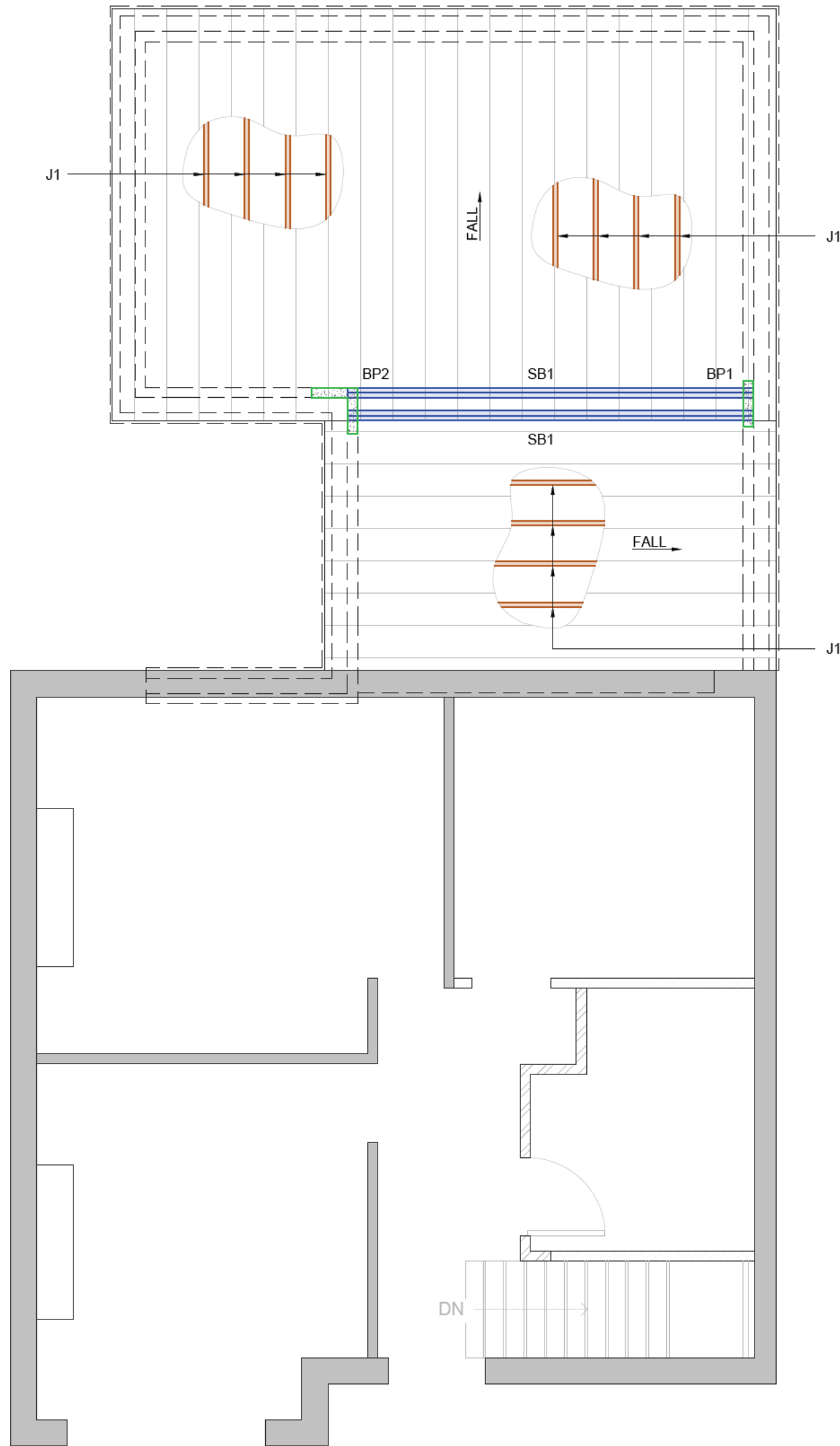
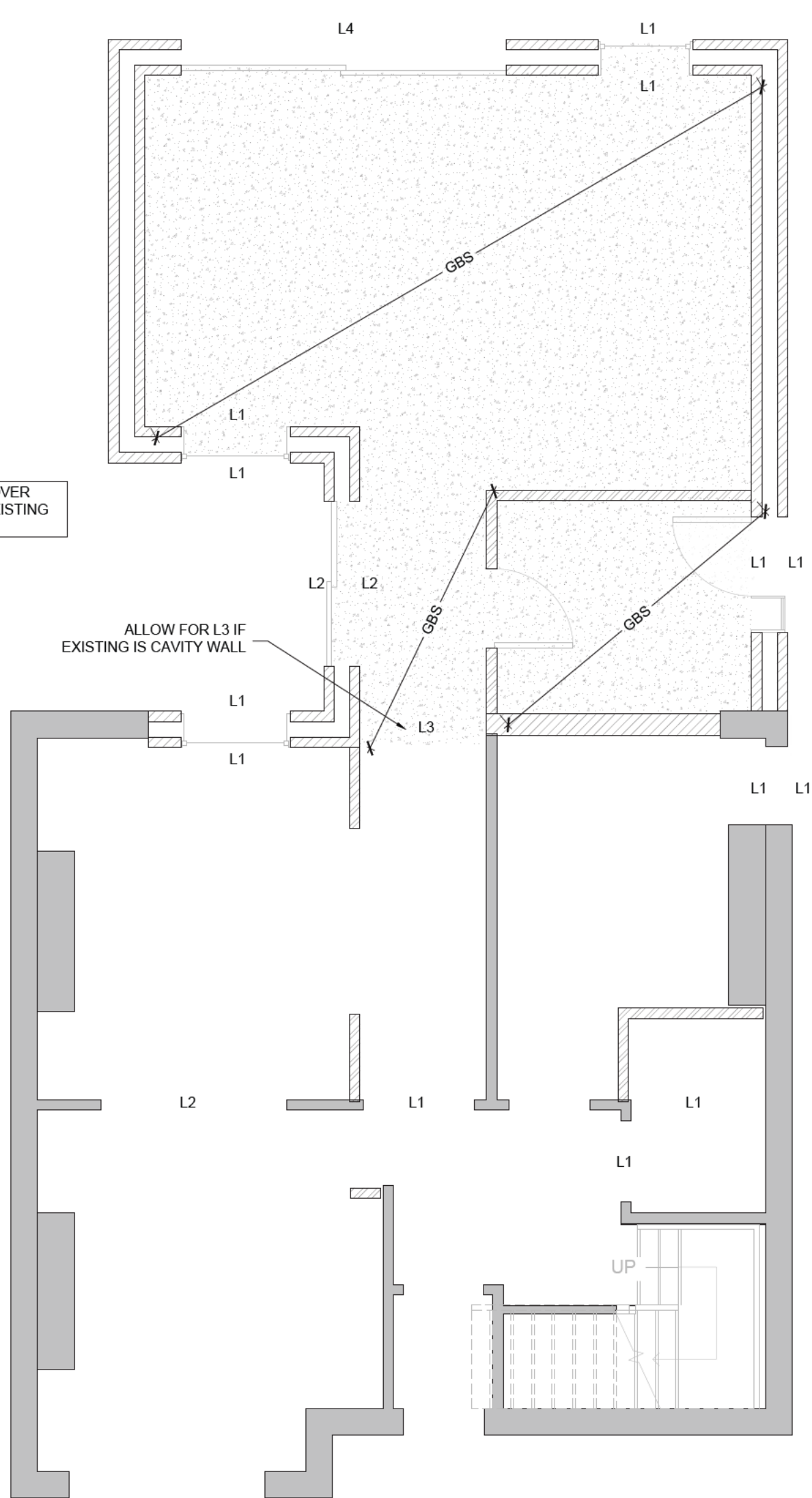
|                               |                                                                                                                                              |
|-------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------|
| EXISTING EXTERNAL WALLS:      | 70mm KINGSPAN KOOLTHERM K12 MECHANICAL FIXED ON 22mm TREATED SOFTWOOD BATTENS ACHIEVES A U VALUE OF 0.16W/m²K                                |
| EXISTING GROUND FLOOR CEILING | 100mm ROCKWOOL INSULATION FOR NOISE DAMPENING BETWEEN FLOOR JOISTS AND BASE OF JOISTS TO RECEIVE 12.5mm FIRLINE PLASTERBOARD AND SKIM FINISH |
| PROPOSED WALLS:               | KOOLTHERM K8 PLUS INSULATION, 130mm WITH 20mm RESIDUAL CAVITY                                                                                |
| GROUND FLOOR:                 | KOOLTHERM K3 100mm                                                                                                                           |
| PROPOSED MONOPITCH ROOFS      | KINGSPAN QUAD CORE LD PITCH ROOF PANEL                                                                                                       |
| WINDOWS:                      | INSULATED REVEAL BOARDS TO BE FITTED ALL AROUND WINDOW OPENINGS.                                                                             |

| Revision      | Description                   | Initials | Date          |
|---------------|-------------------------------|----------|---------------|
| Client        | AOIFE QUINN & DAVID O'FARRELL |          |               |
| Project       | 53 SHELBOURN PARK             |          |               |
| Dwg. Title    | PROPOSED FLOOR PLANS          |          |               |
| Drawn By      | NQ                            | Date     | 28/03/2026    |
| Checked by    | NQ                            | Scale    | AS SHOWN @ A1 |
| Dwg. Progress | CONSTRUCTION                  |          |               |
| Dwg. No.      | 015 - REV 1                   |          |               |





NOTE: ALLOW FOR NEW L1 OVER DOOR OPES TO REPLACE EXISTING TIMBER LINTELS



LEGEND:

- ASSUMED LINE OF EXISTING FOUNDATIONS
- EXISTING MASONRY WALL
- EXISTING STUD WALL
- NEW 950mm Wd. x 300mm Dp. CONCRETE FOUNDATION GRADE C30/37 WITH 1 No. LAYER A393 MESH BOTTOM
- NEW SOLID BLOCK
- NEW 150mm Dp. GROUND CONCRETE GROUND BEARING SLAB WITH 1 No. LAYER A252 MESH TOP
- STEEL BEAM
- TIMBER RAFTER
- CONCRETE BEARING PAD
- INSULATED KINGSPAN ROOF PANEL
- NEW 100mm Wd. TIMBER STUD PARTITION
- LOAD BEARING WALL BELOW

STEEL BEAMS (S355):  
SB1 203x102x23 UB

TIMBER RAFTER (C16):  
R1 44mm x 225mm Dp. TIMBER RAFTER AT 400mm c/c

CONCRETE BEARING PAD:  
BP1 215mm Dp. x 100mm Wd. x 440mm CONCRETE BEARING PAD

BP2 215mm Dp. x 100mm Wd. x 440mm CONCRETE CORNER BEARING PAD

LINTELS:  
L1 100mm x 65mm Dp. PRESTRESSED CONCRETE LINTEL

L2 100mm x 215mm Dp. PRESTRESSED CONCRETE LINTEL

L3 STEEL CAVITY WALL CATNIC LINTEL OR SIMILAR APPROVED

NOTE: EXISTING FOUNDATIONS HAVE BEEN ASSUMED. TO BE ESTABLISHED ON SITE PRIOR TO CONSTRUCTION

**1.0 GENERAL**

1.1 NO DIMENSIONS SHALL BE SCALED FROM THIS DRAWING. ALL DIMENSIONS SHALL BE ESTABLISHED ON SITE.

1.2 THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN THE PLANS AND THE SECTIONS

1.3 THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN DRAWINGS AND SITE CONDITIONS BEFORE IMPLEMENTING THE WORK

1.4 ANY TEMPORARY WORKS NECESSARY SHALL BE THE SOLE RESPONSIBILITY OF THE MAIN CONTRACTOR.

1.5 ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ONE ANOTHER

**2.0 FOUNDATIONS**

2.1 ALL FOUNDATIONS ARE SUBJECT TO SITE CONDITIONS AND MAY BE VARIED AS THE WORKS PROCEED.

2.2 ALL FOUNDATIONS ARE SUBJECT TO THE APPROVAL THE ENGINEER. THE ENGINEER MAY REQUIRE TO INSPECT THE FORMATION OF ANY BASE PRIOR TO THE BLINDING OR CONCRETE WORK.

2.3 NEW FOUNDATION FORMATION LEVEL TO MATCH EXISTING LEVEL, SUBJECT TO APPROVAL OF THE ENGINEER.

**3.0 CONCRETE**

3.1 CONCRETE SHALL BE GRADE C30 UNLESS NOTED OTHERWISE.

3.2 LEAN MIX CONCRETE SHALL BE GRADE C10.

3.3 READY MIXED CONCRETE MAY BE USED PROVIDED THAT IT SHALL BE PRODUCED AT AN APPROVED DEPOT. ALL CONSTITUENTS FOR EACH MIX SHALL BE ADDED AT THE MANUFACTURERS DEPOT. NO EXTRA WATER OR OTHER MATERIAL SHALL BE ADDED AFTER THE CONCRETE HAS LEFT THE DEPOT.

3.4 CALCIUM CHLORIDE OR ADMIXTURES CONTAINING CALCIUM CHLORIDE WILL NOT BE PERMITTED.

3.5 ACCEPTABLE SAFE LOAD TABLES MUST BE PROVIDED BY THE SUPPLIER OF ANY CONCRETE LINTELS.

3.6 ALL REINFORCEMENT MARKED 'T' SHALL BE HIGH YIELD HIGH BOND BARS COMPLYING WITH BS 4449 OR BS 4461. REINFORCEMENT MARKED 'R' SHALL BE MILD STEEL COMPLYING WITH BS 4449.

3.7 REINFORCEMENT FABRIC SHALL COMPLY WITH BS 4483.

3.8 ALL REINFORCED CONCRETE SHALL BE WELL VIBRATED IN ITS FORMWORK USING MECHANICAL FORKERS OF APPROPRIATE TYPE.

3.9 ALL MATERIALS AND WORKMANSHIP SHALL COMPLY WITH BS 810.

3.10 APPROVAL MUST BE OBTAINED FOR THE POSITION AF ANY CONSTRUCTION JOINT REQUIRED BY THE CONTRACTOR AND FOR THE METHODS OF FORMING AND PREPARING THE JOINTS BEFORE THE WORK STARTS ON SITE.

3.11 WHEN DIRECTED ALL TESTS ON WET OR HARDENED CONCRETE SHALL BE CARRIED OUT IN ACCORDANCE WITH BS 1881.

**4.0 STRUCTURAL STEELWORK**

4.1 ALL STRUCTURAL STEEL SHALL BE GRADE S355 UNLESS NOTED OTHERWISE.

4.2 THE STRUCTURAL STEELWORK SUPPLIER SHALL TAKE ALL SITE DIMENSIONS NECESSARY. PRODUCE SHOP FABRICATION DRAWINGS AND SUBMIT THEM TO THE ENGINEER FOR HIS INSPECTION. NO FABRICATION TO BE CARRIED OUT WITHOUT THE ENGINEERS AGREEMENT. UNLESS OTHERWISE SHOWN ON THE DRAWINGS THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE CONNECTIONS TO SATISFY THE LOADS SHOWN ON THE DRAWINGS OR CALCULABLE FROM THE INFORMATION GIVEN.

4.3 ALL WELDING SHALL BE CARRIED OUT BY APPROPRIATELY CERTIFICATED WELDERS.

4.4 ALL BOLTS SHALL BE GRADE 8.8 BOLTS UNLESS NOTED OTHERWISE.

4.5 ALL BEAMS WITH END CAST INTO CONCRETE SHALL BE SUPPLIED WITH 2 NO 50x 50 x 5 RSA END CLEATS WELDED TO THEIR WEBS.

4.6 ALL STRUCTURAL STEELWORK SHALL BE CLEANED OF ALL RUST, MILLSCALE, GREASE ETC.

4.7 UNLESS NOTED OTHERWISE ALL STRUCTURAL STEELWORK INCLUDING BOLTS AND CONNECTIONS, EXCEPT THAT WHICH IS TO BE CASED IN CONCRETE, SHALL BE PAINTED WITH 2 COATS OF ZINC PHOSPHATE PRIMER OR SIMILAR APPROVED.

4.8 ALL MATERIALS AND WORKMANSHIP SHALL COMPLY WITH BS 5950.

**5.0 BRICKWORK AND BLOCKWORK**

5.1 NOMINAL MORTAR MIXES BY VOLUME ARE APPROPRIATE FOR SAND GRADED TO BS 1200.

5.2 BRICKS SHALL BE 50/35 N/mm<sup>2</sup> BRICKS IN 1:1:6 MORTAR U.N.O.

5.3 FACING BRICKS SHALL BE TO THE ARCHITECTS CHOICE AND SHALL BE SUITABLE FOR THE PURPOSE.

5.4 BRICKS BELOW DPC LEVEL SHALL BE SUITABLE FOR THE PURPOSE

5.5 THE LAYING OF SINGLE FROG UNITS FROG DOWN SHALL NOT BE PERMITTED IN LOAD BEARING WALLING. DOUBLE FROGGED UNITS SHALL BE LAID WITH THE LARGER FROG UPPERMOST.

5.6 ALL MATERIALS AND WORKMANSHIP SHALL COMPLY WITH BS 5628 PARTS 1 AND 3.

5.7 ALL BLOCKWORK BELOW GROUND AND UP TO 150mm ABOVE GROUND SHALL HAVE A MEAN DECLARED COMPRESSIVE STRENGTH OF 13N/mm<sup>2</sup>. ALL OTHER BLOCK WORK TO HAVE A MEAN DECLARED COMPRESSIVE STRENGTH OF 7.5N/mm<sup>2</sup>. BLOCKS IN 1:1:6 MORTAR U.N.O.

**6.0 TIMBER**

6.1 ALL TIMBER SHALL BE MINIMUM GRADE C16 TO IS 444 UNLESS NOTED OTHERWISE. SERVICE MOISTURE CONTENT SHALL NOT EXCEED 18% MOISTURE CONTENT ON ERECTION SHALL BE WITHIN 3% OF SERVICE MOISTURE CONTENT.

6.2 ALL ROOF AND MANSARD TIMBERS SHALL BE TREATED WITH ORGANIC SOLVENT BY DOUBLE VACUUM PROCESS.

6.3 ALL TIMBER IN CONTACT WITH MASONRY EXTERNAL WALLS SHALL BE TREATED WITH ORGANIC SOLVENT BY DOUBLE VACUUM PROCESS.

6.4 JOIST HANGERS BUILT INTO NEW BRICKWORK SHALL BE CAVITY WALL TYPE HANGERS. ALL JOIST HANGERS SHALL BE HEAVY DUTY TYPE FABRICATED IN ACCORDANCE WITH BS 6178 PART 1: 1982 FROM 2.5mm MILD STEEL AND SHALL BE HOT DIP GALVANISED TO BS 729: 1971.

6.5 ALL DOUBLE JOISTS SHALL BE BOLTED TOGETHER WITH 12mm DIAMETER HOT DIP GALVANISED BOLTS AT 450 CENTRES STAGGERED TOP AND BOTTOM.

6.6 ALL MATERIALS AND WORKMANSHIP SHALL COMPLY WITH BS 5268 PARTS 2 AND 3.

**7.0 DEMOLITIONS**

7.1 DEMOLITION WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE FOLLOWING:

- BS 6187 AND BS 5228
- SI 136 SAFETY HEALTH & WELFARE AT WORK (CONSTRUCTION) REGULATIONS 1995.
- AIR POLLUTION ACT 1987
- ENVIRONMENTAL PROTECTION AGENCY ACT 1993.

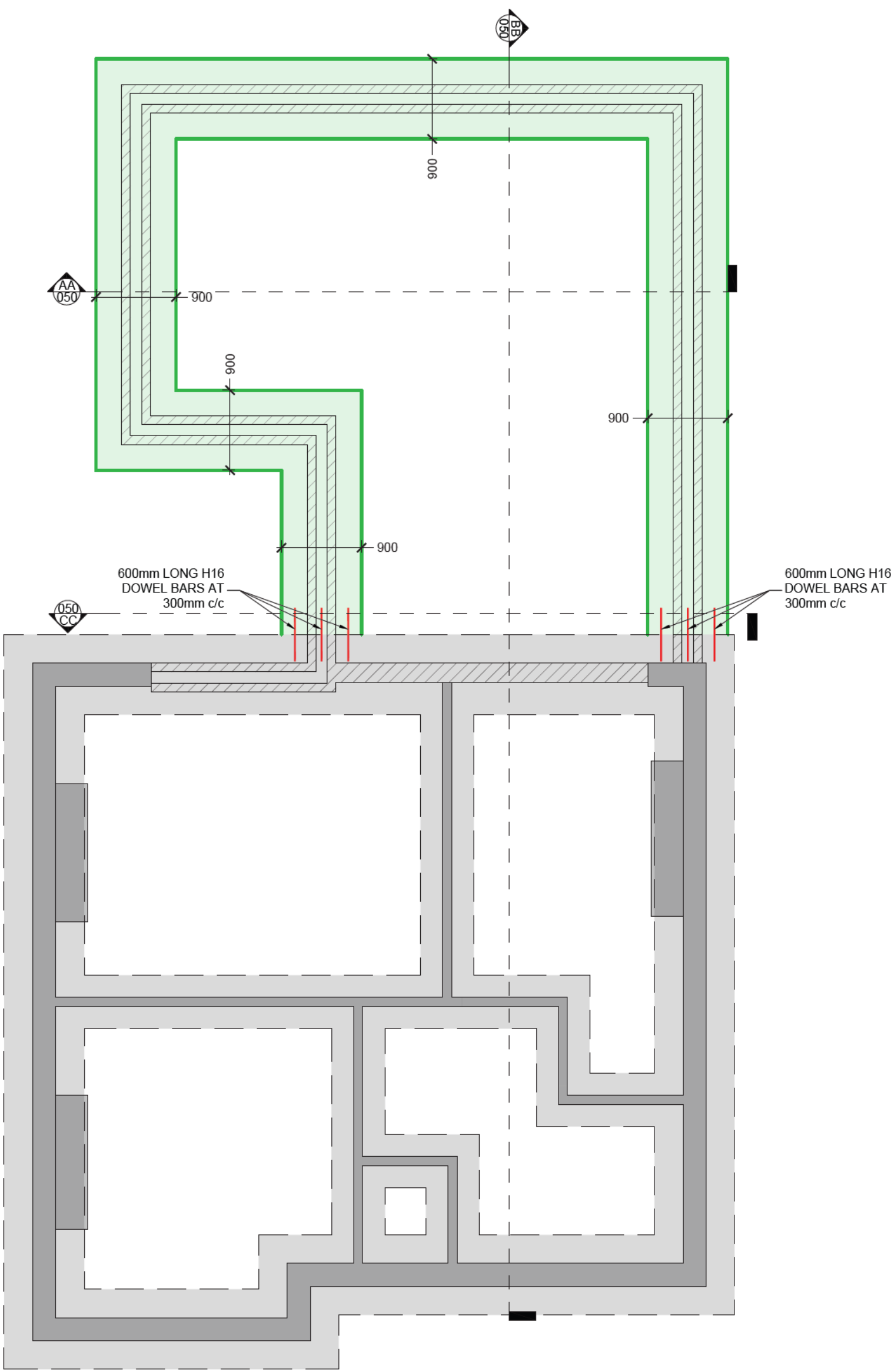
7.2 ADEQUATE PRECAUTIONS SHALL BE TAKEN TO PROVIDE PROTECTION OF BUILDINGS AGAINST FIRE DAMAGE DURING SITE WELDING.

7.3 DEMOLITION WORK SHALL BE CARRIED OUT IN SUCH A MANNER AS SHALL CAUSE AS LITTLE INCONVENIENCE AS POSSIBLE TO ADJOINING OWNERS OR THE PUBLIC.

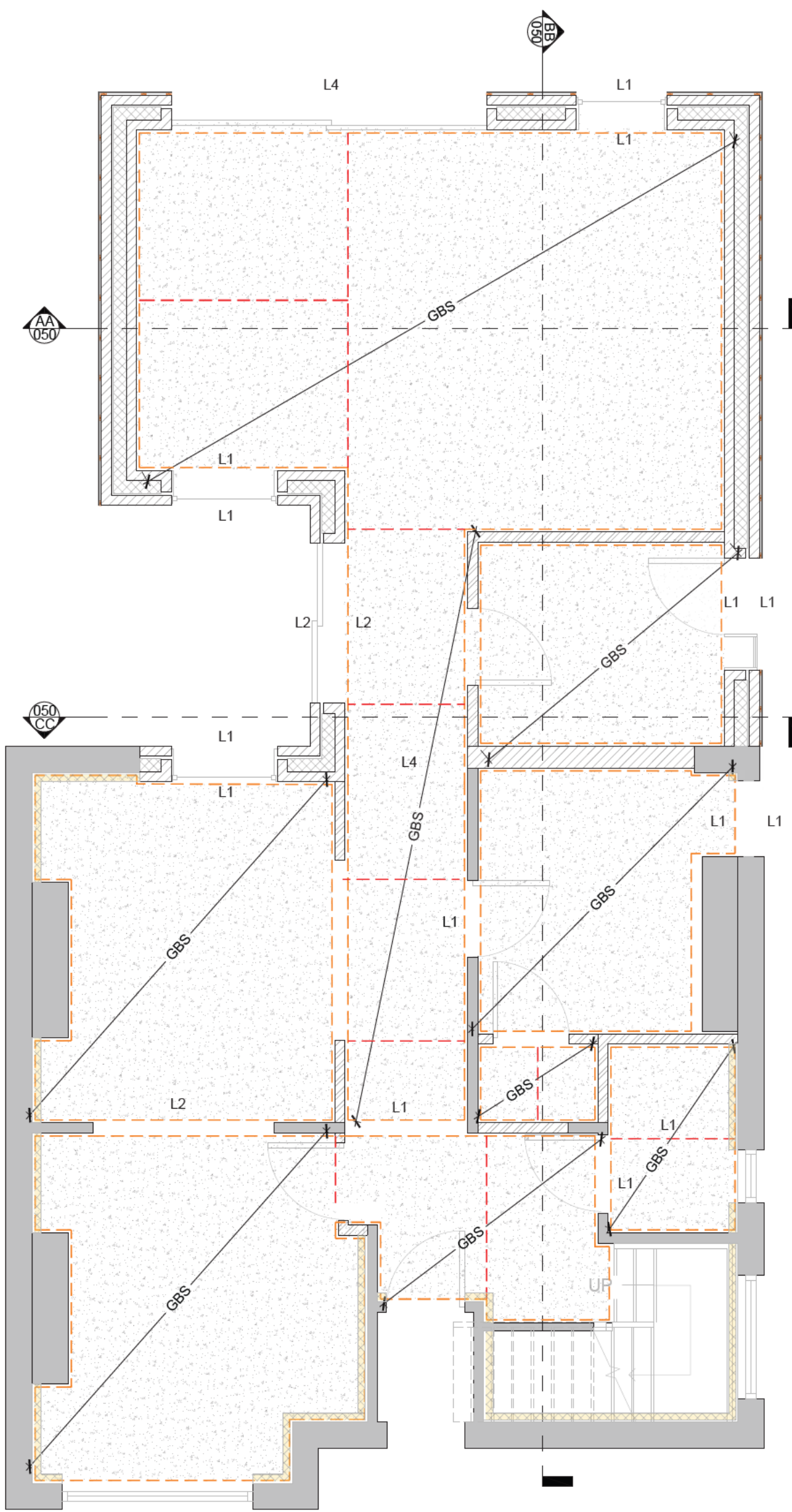
7.4 THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE STRENGTH, ADEQUACY AND STABILITY OF ANY NECESSARY SHORING, PROPPING, NEEDLING, STRUTTING AND THE LIKE AND SHALL BE RESPONSIBLE FOR MAKING GOOD LOSS OR DAMAGE RESULTING FROM ANY FAILURE IN THIS RESPECT.

| Revision | Description   | Initials                          | Date                |
|----------|---------------|-----------------------------------|---------------------|
|          | Client        | AOIFE QUINN & DAVID O'FARRELL     |                     |
|          | Project       | 53 SHELBOURN PARK                 |                     |
|          | Dwg. Title    | EXISTING PLANS & DEMOLITION WORKS |                     |
|          | Drawn By      | NQ                                | Date 28/03/2026     |
|          | Checked by    | NQ                                | Scale AS SHOWN @ A1 |
|          | Dwg. Progress | CONSTRUCTION                      |                     |
|          | Dwg. No.      | 020 - REV 1                       |                     |

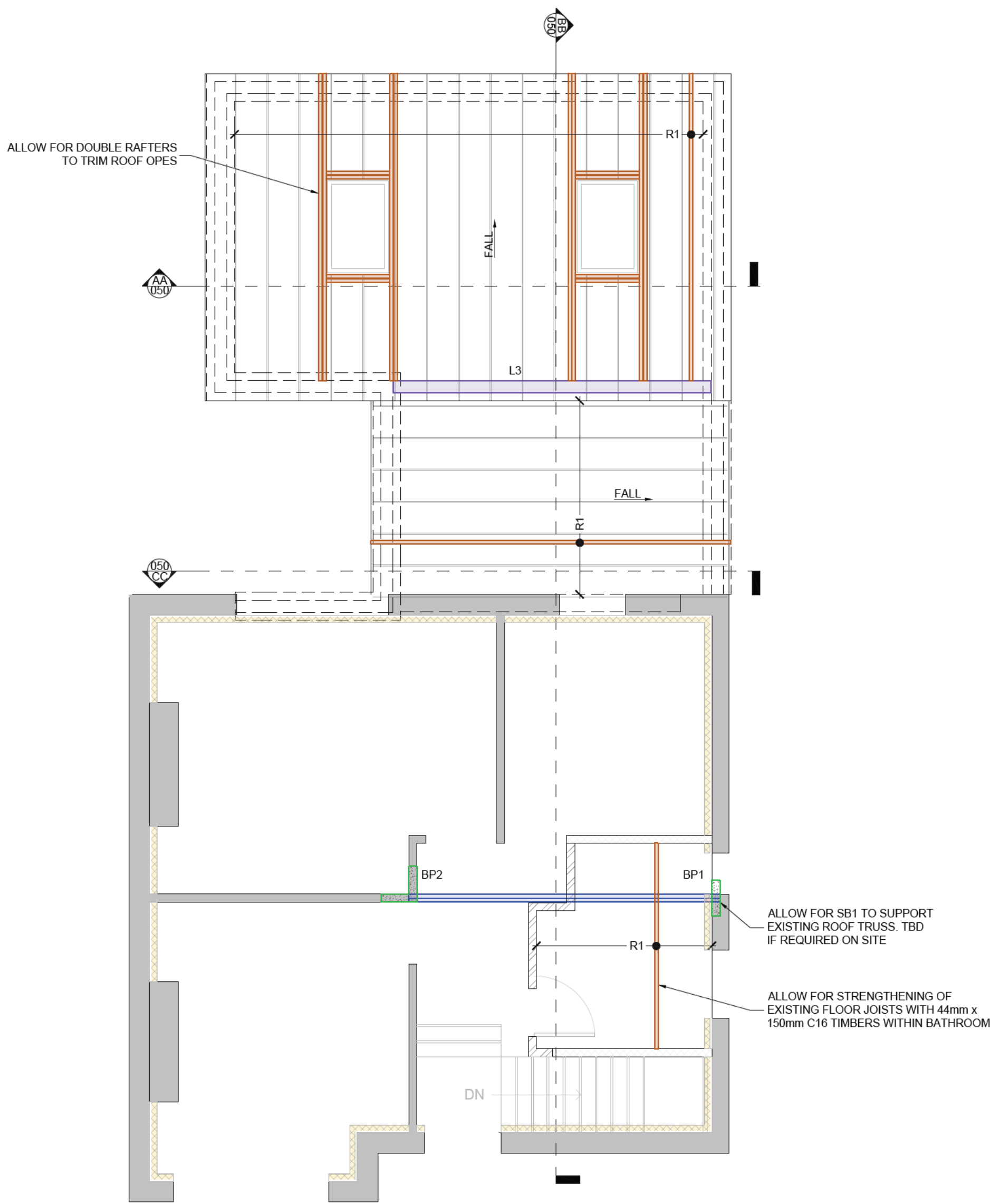




PROPOSED FOUNDATION PLAN  
SCALE 1:50



PROPOSED STRUCTURAL GROUND FLOOR PLAN  
SCALE 1:50



PROPOSED STRUCTURAL FIRST FLOOR PLAN  
SCALE 1:50

| LEGEND:               |                                                                                                                                                                                           |
|-----------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|                       | ASSUMED LINE OF EXISTING FOUNDATIONS                                                                                                                                                      |
|                       | EXISTING MASONRY WALL                                                                                                                                                                     |
|                       | EXISTING STUD WALL                                                                                                                                                                        |
|                       | NEW 950mm Wd. x 300mm Dp. CONCRETE FOUNDATION GRADE C30/37 WITH 1 No. LAYER A393 MESH BOTTOM                                                                                              |
|                       | EXISTING EXTERNAL CAVITY WALL INTERNALLY INSULATED WITH KOOLTHERM K12 70mm MECHANICAL FIXED ON MIN. 22mm TREATED SOFTWOOD TIMBER BATTENS ACHIEVES A U VALUE OF 0.16W/m2K                  |
|                       | NEW EXTERNAL CAVITY WALL 100mm OUTER LEAF / 150mm CAVITY / 100mm INNER LEAF KOOLTHERM K8 PLUS INSULATION 130mm WITH 20mm MIN RESIDUAL CAVITY U VALUE 0.14W/m2K                            |
|                       | NEW 75mm Dp. UNDERFLOOR HEATING SCREENED ON 500 GLUE VISQUEEN ON KOOLTHERM K3 100mm, U VALUE OF 0.15W/m2K ON 150mm Dp. GROUND CONCRETE GROUND BEARING SLAB WITH 1 No. LAYER A252 MESH TOP |
|                       | STEEL BEAM                                                                                                                                                                                |
|                       | TIMBER RAFTER                                                                                                                                                                             |
|                       | CONCRETE BEARING PAD                                                                                                                                                                      |
|                       | INSULATED KINGSPAN ROOF PANEL                                                                                                                                                             |
|                       | NEW 100mm Wd. NON LOAD BEARING STUD PARTITION                                                                                                                                             |
|                       | LOAD BEARING WALL BELOW                                                                                                                                                                   |
|                       | STEEL LINTEL                                                                                                                                                                              |
|                       | ISOLATION JOINT                                                                                                                                                                           |
|                       | SAWM CUT JOINT                                                                                                                                                                            |
| STEEL BEAMS (S355):   |                                                                                                                                                                                           |
| SB1                   | 203x102x23 UB                                                                                                                                                                             |
| TIMBER RAFTERS (C16): |                                                                                                                                                                                           |
| R1                    | 44mm x 225mm Dp. TIMBER RAFTER AT 400mm c/c                                                                                                                                               |
| CONCRETE BEARING PAD: |                                                                                                                                                                                           |
| BP1                   | 215mm Dp. x 100mm Wd. x 440mm CONCRETE BEARING PAD                                                                                                                                        |
| BP2                   | 215mm Dp. x 100mm Wd. x 440mm CONCRETE CORNER BEARING PAD                                                                                                                                 |
| LINTELS:              |                                                                                                                                                                                           |
| L1                    | 100mm x 65mm Dp. PRESTRESSED CONCRETE LINTEL                                                                                                                                              |
| L2                    | 100mm x 215mm Dp. PRESTRESSED CONCRETE LINTEL                                                                                                                                             |
| L3                    | CATNIC CAVITY WALL LINTEL TX150/100 OR SIMILAR APPROVED                                                                                                                                   |
| L4                    | CATNIC CAVITY WALL LINTEL CG50/100 OR SIMILAR APPROVED. CAVITY WIDTH TO BE CONFIRMED ON SITE                                                                                              |

NOTE: EXISTING FOUNDATIONS HAVE BEEN ASSUMED. TO BE ESTABLISHED ON SITE PRIOR TO CONSTRUCTION

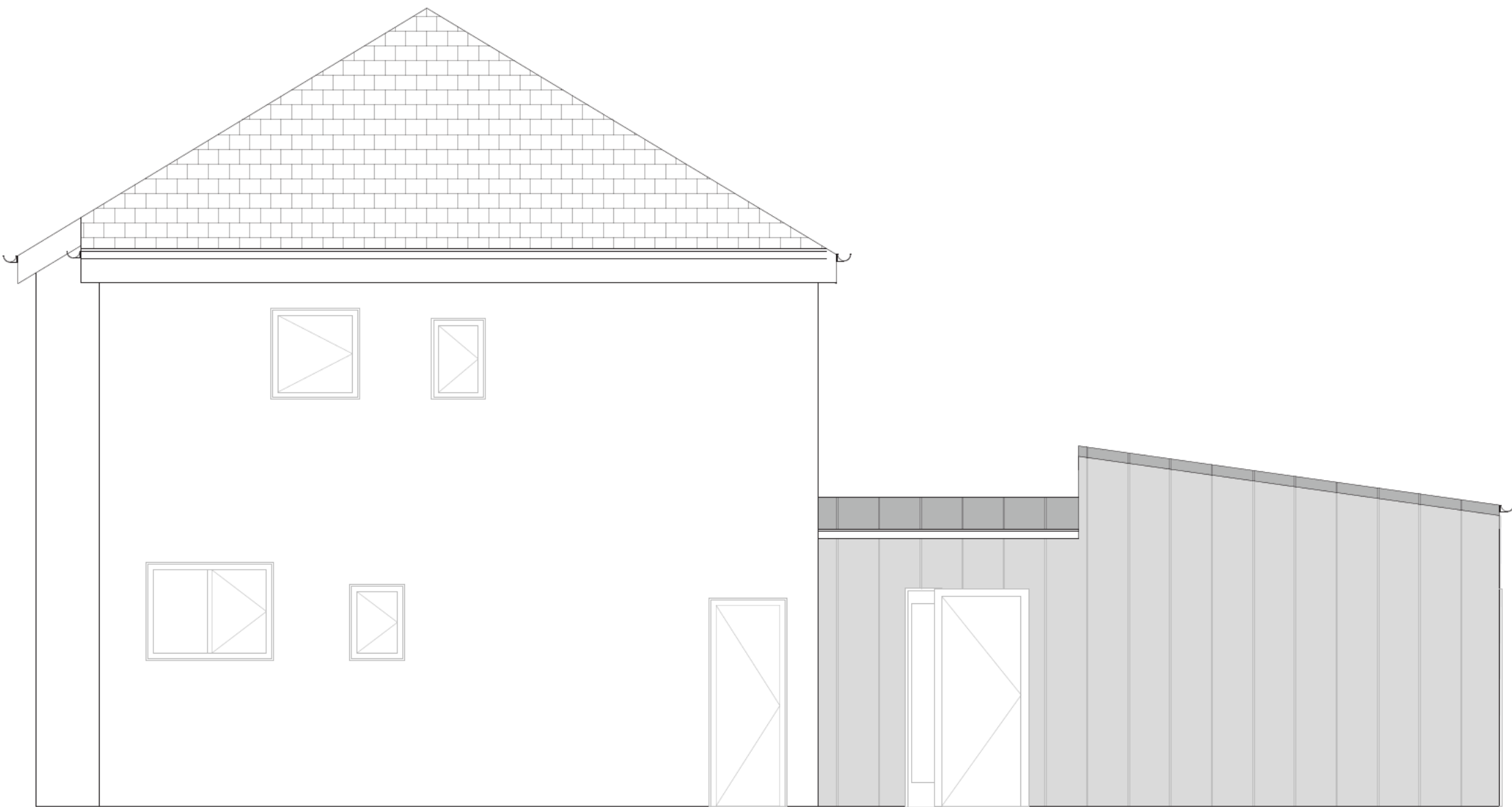
NOTE: ALLOW FOR ANCON STAIRFIX WALL STARTER SYSTEMS WHERE FIXING EXISTING WALLS TO NEW MASONRY

NOTE: ALLOW FOR DEFLECTION HEADS ABOVE ALL NEW STUD WALLS

NOTE: ALLOW FOR NEW L1 OVER EXISTING DOOR AND WINDOW OPES UNDER 1.5m AND L2 FOR OPES LARGER THAN 1.5m TO REPLACE EXISTING TIMBER LINTELS

| Revision                                  | Description | Initials | Date          |
|-------------------------------------------|-------------|----------|---------------|
| ClientAOIFE QUINN & DAVID O'FARRELL       |             |          |               |
| Project53 SHELBOURN PARK                  |             |          |               |
| Dwg. TitlePROPOSED STRUCTURAL FLOOR PLANS |             |          |               |
| Drawn ByNQ                                |             | Date     | 28/03/2026    |
| Checked byNQ                              |             | Scale    | AS SHOWN @ A1 |
| Dwg. ProgressCONSTRUCTION                 |             |          |               |
| Dwg. No.020 - REV 1                       |             |          |               |

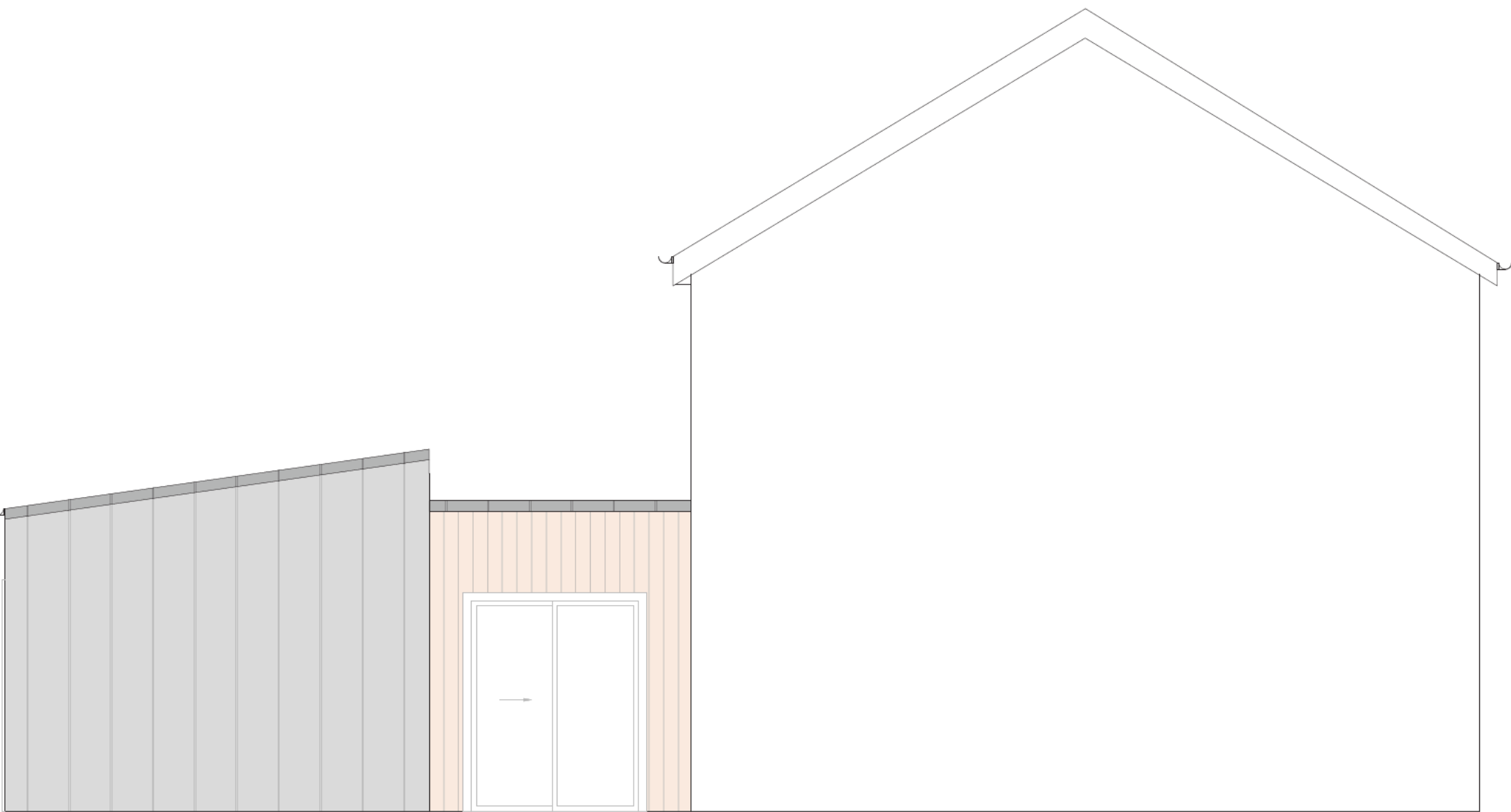




EASTERN ELEVATION  
SCALE 1:50



NORTHERN ELEVATION  
SCALE 1:50



WESTERN ELEVATION  
SCALE 1:50

| Revision                             | Description | Initials            | Date |
|--------------------------------------|-------------|---------------------|------|
| Client AOIFE QUINN & DAVID O'FARRELL |             |                     |      |
| Project 53 SHELBOURN PARK            |             |                     |      |
| Dwg. Title PROPOSED ELEVATIONS       |             |                     |      |
| Drawn By NQ                          |             | Date 28/03/2026     |      |
| Checked by NQ                        |             | Scale AS SHOWN @ A1 |      |
| Dwg. Progress Construction           |             |                     |      |
| Dwg. No. 050 - REV 1                 |             |                     |      |



LEGEND:

SITE BOUNDARY

ASSUMED LINE OF EXISTING FOUL SEWER

ASSUMED LINE OF EXISTING FOUL/COMBINED SEWER

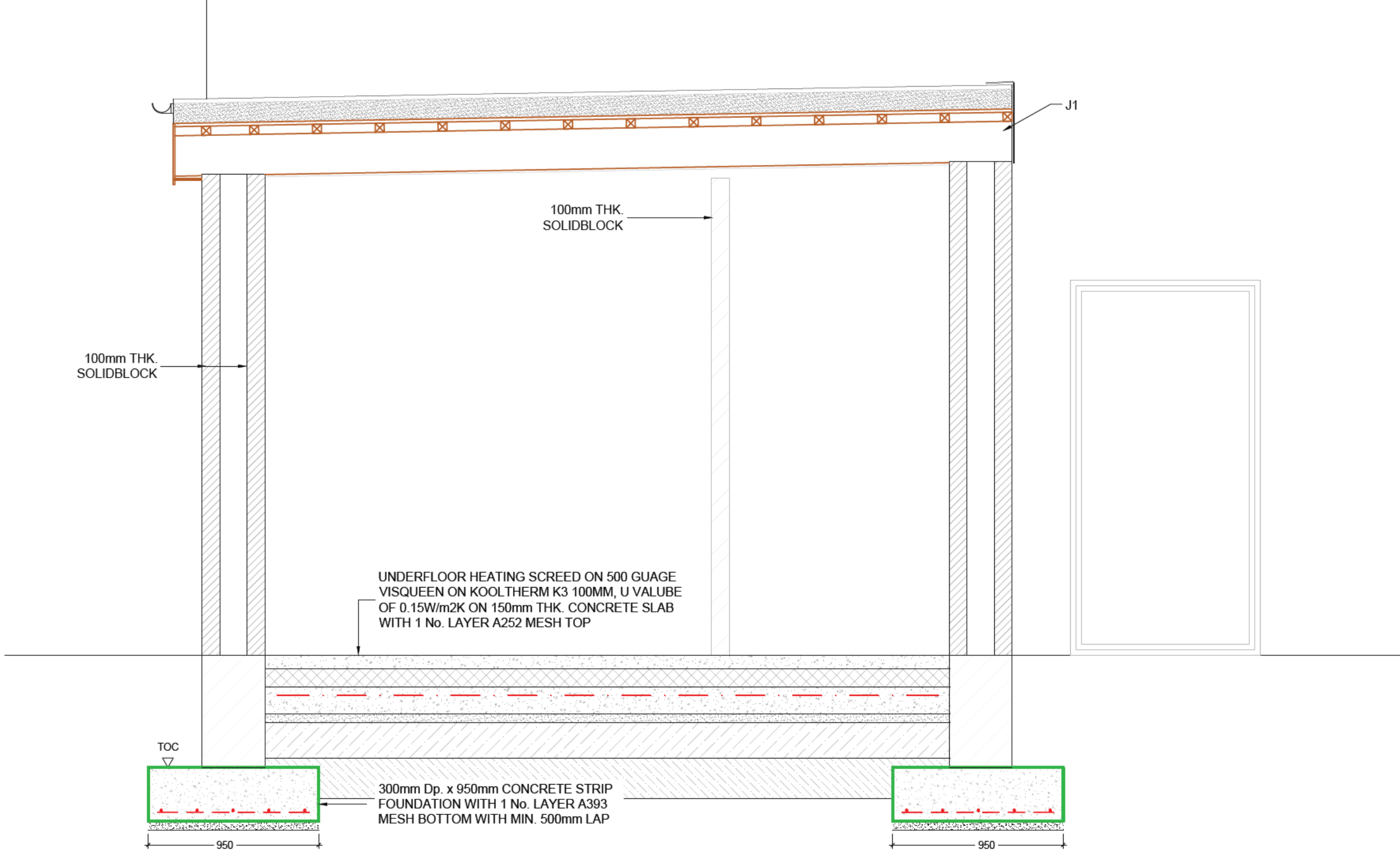
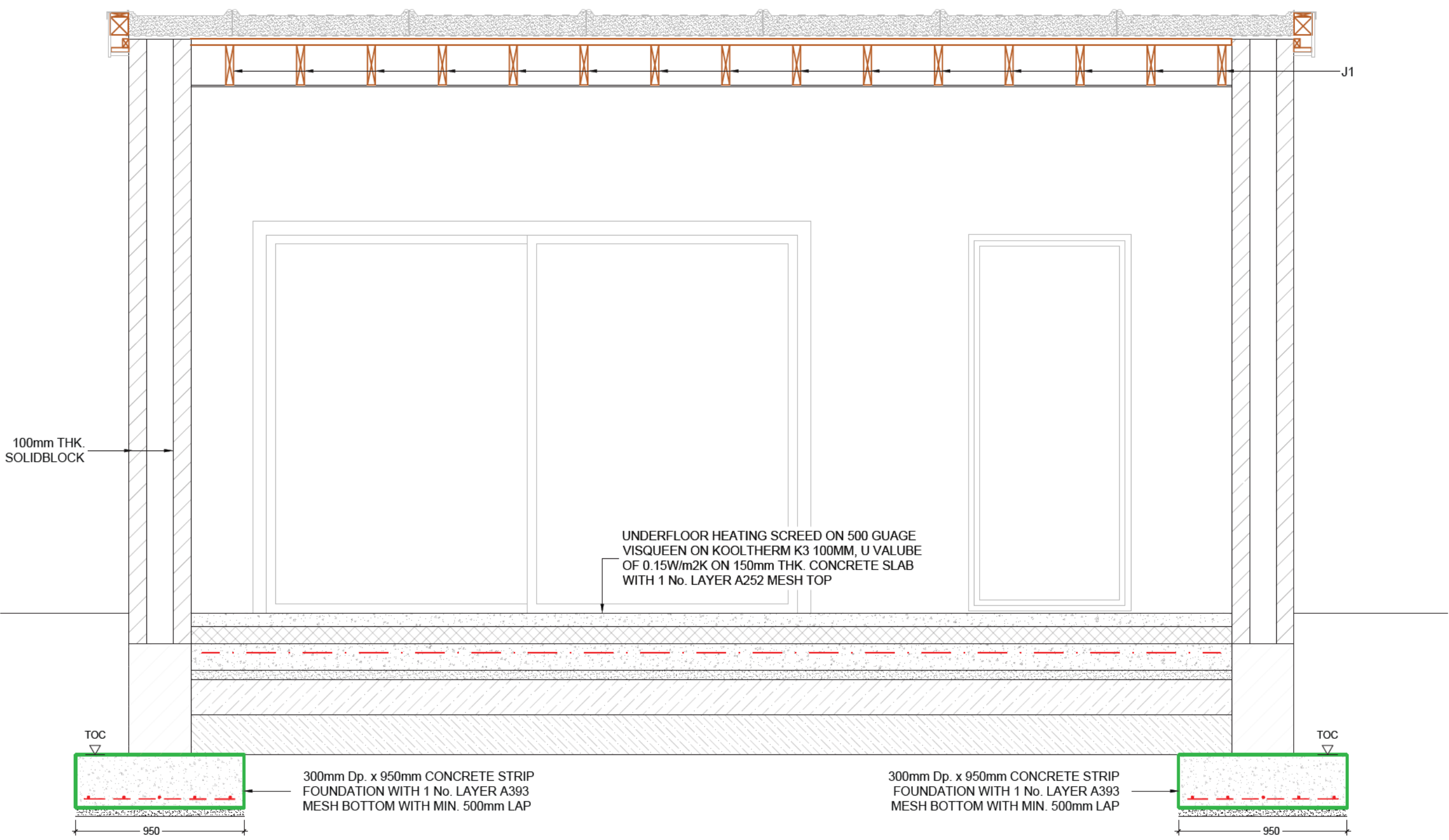
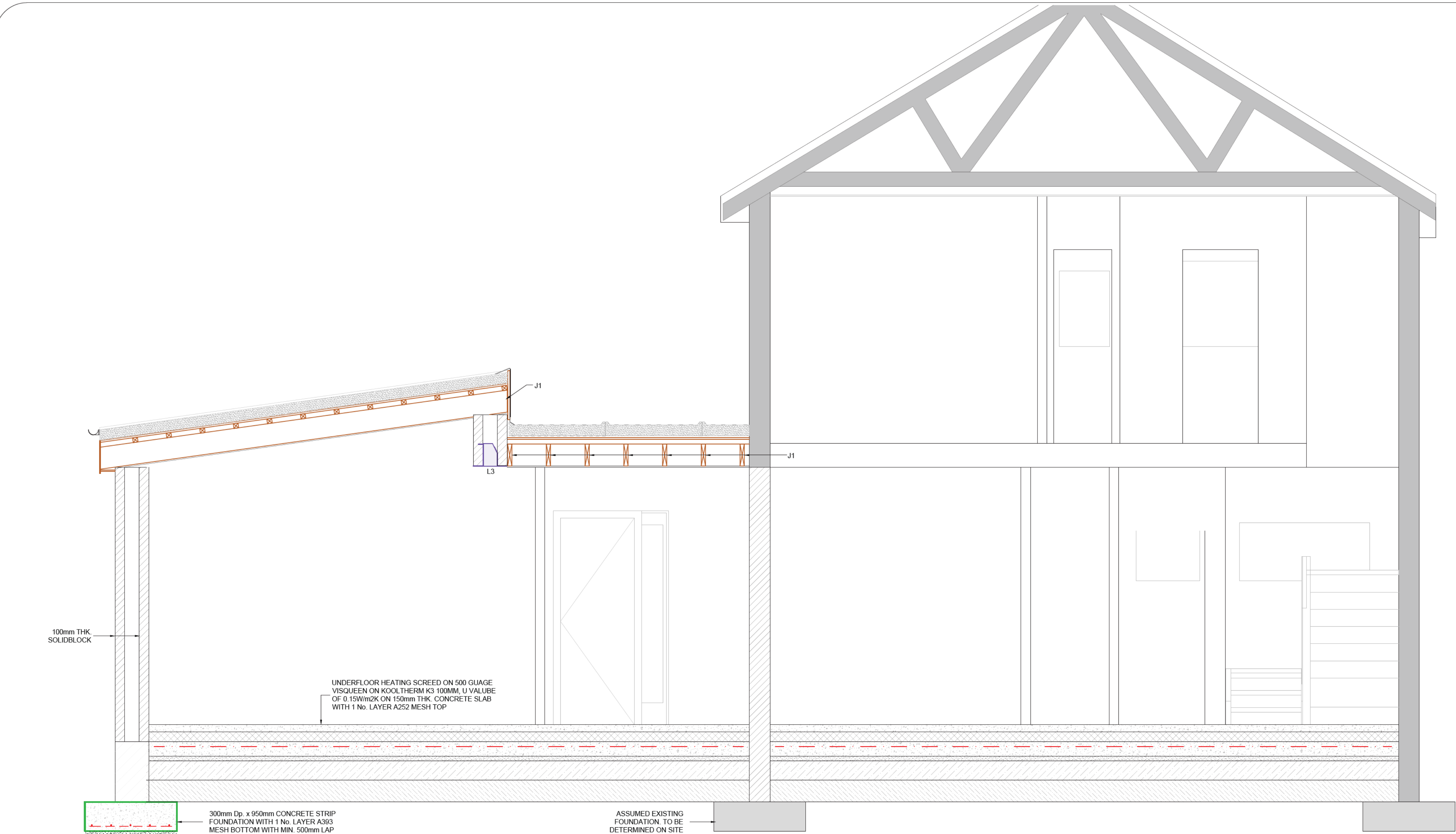
EXISTING AJ / MANHOLE

NEW FOUL AJ AS PER PART H OF THE BUILDING REGULATIONS

PROPOSED DRAINAGE LAYOUT  
SCALE 1:25

| Revision                             | Description | Initials            | Date |
|--------------------------------------|-------------|---------------------|------|
| Client AOIFE QUINN & DAVID O'FARRELL |             |                     |      |
| Project 53 SHELBOURN PARK            |             |                     |      |
| Dwg. Title PROPOSED DRAINAGE LAYOUT  |             |                     |      |
| Drawn By NQ                          |             | Date 28/03/2026     |      |
| Checked by NQ                        |             | Scale AS SHOWN @ A1 |      |
| Dwg. Progress Construction           |             |                     |      |
| Dwg. No. 100 - REV 1                 |             |                     |      |





| Revision                              | Description         | Initials | Date |
|---------------------------------------|---------------------|----------|------|
| Client AOIFE QUINN & DAVID O'FARRELL  |                     |          |      |
| Project 53 SHELBOURN PARK             |                     |          |      |
| Dwg. Title PROPOSED BUILDING SECTIONS |                     |          |      |
| Drawn By NQ                           | Date 28/03/2026     |          |      |
| Checked by NQ                         | Scale AS SHOWN @ A1 |          |      |
| Dwg. Progress CONSTRUCTION            |                     |          |      |
| Dwg. No. 051 - REV 1                  |                     |          |      |

























# ENGINEERS REPORT

Prepared by Michael Eustace of Michael Eustace & Co.  
Ltd, Consulting Engineers

Michael Eustace & Co Ltd  
Civil Engineering Consultants

Inisgrove Lahinch Road Ennis Co Clare

Telephone: 0861637575

Email [michael@westernherd.com](mailto:michael@westernherd.com)

CLIENTS : Ms Aoife Quinn, Mr David O'Farrell

PROPERTY : SEMI-DETACHED DWELLING HOUSE AT  
TRADAREE, 53 SHELBOURNE PARK, ENNIS ROAD, LIMERICK CITY V94XN9Y

I, Michael J. Eustace BE MIEI, Bonded Engineer of Michael Eustace & Co. Ltd., Consulting Engineers, Lahinch Road, Ennis, Co. Clare, in independent private practice, have been engaged by the above-mentioned client to provide a structural report on the existing dwelling house at the above address.

I inspected the property on 14 May 2026 and report as follows:

The property consists of a two-storey semi-detached dwelling house with a small extension to the side.

The front elevation of the property is shown in attached Photograph "A".

The dwelling was constructed circa 1950–1960. The external walls comprise a combination of masonry and concrete block construction.

The ground floor consists of floating timber floors with large cavity spaces beneath, as illustrated in Photograph "B".

The first floor is constructed of timber joists and stud walls.

The roof comprises tiled coverings supported on a timber roof structure. There is no roofing felt present beneath the tiles, and daylight is clearly visible through sections of the roof covering, as shown in Photograph "C".

Photographs "D", "E" and "F" illustrate the general overall condition of the dwelling.

There is currently no heating system installed within the property.



The building is not habitable in its present condition and would constitute a health hazard due to the presence of dampness and mould spores, as shown in Photograph "G".

The existing single-storey side extension exhibits extensive internal and external cracking and structural deterioration. In my professional opinion, the extension is not suitable for retention, and demolition is the most appropriate solution. Condition of the side extension illustrated in Photographs "H", "I" and "J".

The property has been unoccupied for several years and requires substantial refurbishment works.

In order to render the dwelling habitable and compliant with current Building Regulations, the property would require complete rewiring, new plumbing installations, the installation of an adequate heating system, and comprehensive insulation upgrades.

The existing roof tiles should be removed, the supporting timber structure inspected for any defects or decay, and the roof subsequently re-felted. Subject to condition, existing roof tiles may be reused where suitable.

In my opinion, the estimated cost of carrying out the necessary refurbishment and renovation works would be in the region of €274,000 incl VAT.

In conclusion, this building is derelict, unfit for human habitation, and in poor overall condition. It requires comprehensive renovation works in order to render it habitable.

I attach confirmation of my Professional Indemnity Insurance in the sum of €2,000,000.

SIGNED   
MICHAEL J EUSTACE BE MIEI

DATE : 22 May 2026

nd

**Michael Eustace & Co Ltd**  
Consulting Engineers



Photo A



Photo B





Photo C



Photo D



Photo E





Photo F



Photo G



Photo H





Photo I



Photo J



Comhairle Cathrach  
& Contae **Luimnigh**

**Limerick City**  
& County Council

**Report on application under Section 5 of the Planning and Development Act 2000 (as amended)**

|                              |                                                         |
|------------------------------|---------------------------------------------------------|
| <b>File Reference number</b> | EC-119 -26                                              |
| <b>Applicant</b>             | Aoife Quinn and David O' Farrell                        |
| <b>Location</b>              | 53 Shelbourne Park<br>Ennis Road<br>Limerick<br>V94XN9Y |

**1.0 Description of Site and Surroundings:**

The site comprises a semi-detached two-storey dwelling located within the established residential area of Shelbourne Park, Ennis Road, Limerick. The property includes a single-storey side extension/garage attached to the dwelling. The property includes an attached single-storey side extension/garage. The proposal involves the demolition of this existing attached side extension/garage and the construction of a new single-storey rear extension

**2.0 Zoning:**

The site falls within the Thomondgate, Moyross, Caherdavin & Ennis Road Urban Character Area. The Limerick City and Suburbs zoning map highlights the site as Existing Residential. The objective of this zoning designation seeks to protect and improve existing residential amenity in the area.

**3.0 Proposal:**

This is an application requesting a declaration under Section 5 of the Planning and Development Act 2000 (as amended) as to whether the proposed development is or is not development and is or is not exempted development.

The proposed development comprises the demolition of an existing attached single-storey side extension/garage and the construction of a new single-storey rear extension, together with associated refurbishment works to the existing dwelling.



The proposal should be considered under S.4(1) (h) of the Planning and Development Act 2000 as amended, Article 6, Class 1 and Class 50 (b) Schedule 2, Part 1, Class 1 of the Planning and Development Regulations 2001 (as amended).

This Section 5 declaration includes the following:

Application Form  
Copy receipt of Application Fee  
Cover letter  
Elevations and floor plans, existing and proposed  
Opinion of Compliance with Planning Permission  
Photographs of existing side extension  
Site location Map  
Structural Engineers Report

#### **4.0 Planning History:**

*Subject site:*

N/A

*Adjacent:*

N/A

#### **5.0 Enforcement History**

N/A

#### **Relevant An Coimisiún Pleanála referrals**

N/A

#### **6.0 Assessment**

Consideration as to whether a development constitutes exempted development or not is governed by Sections 4 and 5 of the Planning and Development Act 2000 (as amended) and Articles 5, 6, 7, 8, 9, 10 and 11 of the Planning and Development Regulations 2001 (as amended).

The associated refurbishment works, insofar as they comprise internal alterations and refurbishment works affecting only the interior of the dwelling, may fall within the scope of Section 4(1)(h) of the Planning and Development Act 2000 (as amended). The proposal also includes the demolition of an existing side garage and the construction of a single-storey rear extension. It is considered that the attached garage forms part of the original dwelling and does not constitute as an existing extension. Accordingly, the proposed rear extension should be assessed under Class 1 of Part 1 of Schedule 2 of the Planning and Development Regulations 2001 (as amended).

## **7.0 Is the proposal development?**

**‘works’** includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal.

**‘structure’** as any building, structure, excavation, or other thing constructed or made on, in or under any land, or part of a structure so defined, and –

(a) Where the context so admits, includes the land on, in or under which the structure is situated.

**Section 3(1)** defines **‘development’** as ‘the carrying out of any works on, in, over or under land or the making of any material change in the use of any structures or other land’.

The proposed development on site, comprising the demolition of an existing structurally defective single-story side extension and construction of a new single-storey rear extension together with associated refurbishment work, constitutes ‘works’ and ‘development’.

## **8.0 Is the proposal exempted development?**

The proposed refurbishment works, insofar as they affect only the interior of the dwelling and comprise repair, renewal and replacement works which do not materially affect the external appearance of the structure, should be considered against Section 4(1)(h) of the Planning and Development Act 2000 (as amended).

The demolition of the attached side garage and construction of the proposed rear extension are assessed under Article 6 and Class 1 and Class 50(b) of Part 1 of Schedule 2 of the Planning and Development Regulations 2001 (as amended).

*Is the development within the curtilage of a house?*

Yes, the proposed development is to the side and rear of the house and within the curtilage.

### **Class 1**

The extension of a house, by the construction or erection of an extension (including a conservatory) to the rear of the house or by the conversion for use as part of the house of any garage, store, shed or other similar structure attached to the rear or to the side of the house is considered Exempted Development, subject to the following Conditions and Limitations:

*1. (a) Where the house has not been extended previously, the floor area of any such extension shall not exceed 45 square metres.*

The house has not been extended previously. The proposed extension will have a floor area of approximately 32m<sup>2</sup> and will not exceed 45m<sup>2</sup>. The existing extension/garage to the side of the house, with a floor area of approximately 24.25m<sup>2</sup> is considered to form part of the original dwelling and should not be considered.

*(b) Subject to paragraph (a), where the house is terraced or semi-detached, the floor area of any extension above ground level shall not exceed 12 square metres.*

There is no extension proposed above ground level. This condition does not apply.

*(c) Subject to paragraph (a), where the house is detached, the floor area of any extension above ground level shall not exceed 20 square metres.*

The dwelling house is not detached, and there is no extension proposed above ground level. This condition does not apply.

*2. (a) Where the house has been extended previously, the floor area of any such extension, taken together with the floor area of any previous extension or extensions constructed or erected after 1 October 1964, including those for which planning permission has been obtained, shall not exceed 45 square metres.*

The house has not been extended previously. The proposed extension will have a floor area of approximately 32m<sup>2</sup> existing and will not exceed 45m<sup>2</sup>. The existing garage to the side of the house, with a floor area of approximately 24.25m<sup>2</sup> is considered to form part of the original dwelling and should not be considered. This condition does not apply.

*(b) Subject to paragraph (a), where the house is terraced or semi-detached and has been extended previously, the floor area of any extension above ground level taken together with the floor area of any previous extension or extensions above ground level constructed or erected after 1 October 1964, including those for which planning permission has been obtained, shall not exceed 12 square metres.*

There is no extension proposed above ground level. This condition does not apply.

*(c) Subject to paragraph (a), where the house is detached and has been extended previously, the floor area of any extension above ground level, taken together with the floor area of any previous extension or extensions above ground level constructed or erected after 1 October 1964, including those for which planning permission has been obtained, shall not exceed 20 square metres.*

There is no extension proposed above ground level. This condition does not apply.

*3. Any above ground floor extension shall be a distance of not less than 2 metres from any party boundary.*

There is no extension proposed above ground level. This condition does not apply.

*4. (a) Where the rear wall of the house does not include a gable, the height of the walls of any such extension shall not exceed the height of the rear wall of the house.*

The rear wall does not include a gable. The height of the proposed extension would not exceed the height of the rear wall of the house. This condition does not apply.



*(b) Where the rear wall of the house includes a gable, the height of the walls of any such extension shall not exceed the height of the side walls of the house.*

The rear wall does not include a gable. The height of the proposed extension would not exceed the height of the rear wall of the house. This condition does not apply.

*(c) The height of the highest part of the roof of any such extension shall not exceed, in the case of a flat roofed extension, the height of the eaves or parapet, as may be appropriate, or, in any other case, shall not exceed the height of the highest part of the roof of the dwelling.*

The height would not exceed height of eaves or parapet or height of highest part of the roof of the dwelling. This condition does not apply.

*5. The construction or erection of any such extension to the rear of the house shall not reduce the area of private open space, reserved exclusively for the use of the occupants of the house, to the rear of the house to less than 25 square metres.*

The construction or erection of any such extension to the rear of the house shall not reduce the area of private open space, reserved exclusively for the use of the occupants of the house, to the rear of the house to less than 25 square metres. This condition does not apply.

*6. (a) Any window proposed at ground level in any such extension shall not be less than 1 metre from the boundary it faces.*

No window at ground level in the proposed extension will be less than 1 metre from the boundary it faces.

*(b) Any window proposed above ground level in any such extension shall not be less than 11 metres from the boundary it faces.*

There is no extension proposed above ground level. This condition does not apply

*(c) Where the house is detached and the floor area of the extension above ground level exceeds 12 square metres, any window proposed at above ground level shall not be less than 11 metres from the boundary it faces.*

There is no extension proposed above ground level. This condition does not apply

*7. The roof of any extension shall not be used as a balcony or roof garden.*

The submitted plans do not show a balcony or roof garden. The roof of any extension shall not be used as a balcony or roof garden.

*8. This exemption shall only be used on the principal house and not any additional detached house within the curtilage of the principal house.*

The proposed extension relates to the principal dwellinghouse within the curtilage of the site. This condition does not apply.

### **Class 50 (b)**

The demolition of the attached side garage is proposed in connection with the construction of a rear extension to the dwellinghouse is considered under Class 50 (b) of the Planning and Development Regulations 2001 (as amended):

*The demolition of part of a habitable house in connection with the provision of an extension or porch in accordance with Class 1 or 7, respectively, of this Part of this Schedule or in accordance with a permission for an extension or porch under the Act is considered Exempted Development, subject to the following Conditions and Limitations:*

1. *No such building or buildings shall abut on another building in separate ownership.*

The proposed and existing extensions do not abut on another building in separate ownership.

2. *The cumulative floor area of any such building, or buildings, shall not exceed: (a) in the case of a building, or buildings within the curtilage of a house, 45 square metres.*

The floor area of the structure proposed to be demolished is approximately 24.25m<sup>2</sup> and therefore does not exceed the prescribed floor area limitation. This condition does not apply.

*(b) In all other cases, 100 square metres.*

N/A, the extension is within the curtilage of a house.

3. *No such demolition shall be carried out to facilitate development of any class prescribed for the purposes of section 176 of the Act.*

N/A, the development proposed does not facilitate development of any class prescribed for the purposes of section 176 of the Act. This condition does not apply.

### **9.0 Article 9 Restrictions**

The proposed development is not restricted by any of the restrictions in Article 9 of the Planning and Development Regulations 2001 (as amended).

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |     |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----|
| <b>Article 9(1)</b><br><b>Development to which article 6 relates shall not be exempted development for the purposes of the Act—</b><br><br><b>(a) if the carrying out of such development would—</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | N/A |
| (i) contravene a condition attached to a permission under the Act or be inconsistent with any use specified in a permission under the Act,                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         | N/A |
| (ii) consist of or comprise the formation, laying out or material widening of a means of access to a public road the surfaced carriageway of which exceeds 4 metres in width,                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | N/A |
| (iii) endanger public safety by reason of traffic hazard or obstruction of road users,                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             | N/A |
| (iiia) endanger public safety by reason of hazardous glint and/or glare for the operation of airports, aerodromes or aircraft,                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | N/A |
| (iv) except in the case of a porch to which class 7 specified in column 1 of Part 1 of Schedule 2 applies and which complies with the conditions and limitations specified in column 2 of the said Part 1 opposite the mention of that class in the said column 1, comprise the construction, erection, extension or renewal of a building on any street so as to bring forward the building, or any part of the building, beyond the front wall of the building on either side thereof or beyond a line determined as the building line in a development plan for the area or, pending the variation of a development plan or the making of a new development plan, in the draft variation of the development plan or the draft development plan, | N/A |



|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |     |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----|
| (v) consist of or comprise the carrying out under a public road of works other than a connection to a wired broadcast relay service, sewer, water main, gas main or electricity supply line or cable, or any works to which class 25, 26 or 31 (a) specified in column 1 of Part 1 of Schedule 2 applies,                                                                                                                                                                                                                                                                                                                                                          | N/A |
| (vi) interfere with the character of a landscape, or a view or prospect of special amenity value or special interest, the preservation of which is an objective of a development plan for the area in which the development is proposed or, pending the variation of a development plan or the making of a new development plan, in the draft variation of the development plan or the draft development plan,                                                                                                                                                                                                                                                     | N/A |
| (vii) consist of or comprise the excavation, alteration or demolition (other than peat extraction) of places, caves, sites, features or other objects of archaeological, geological, historical, scientific or ecological interest, the preservation, conservation or protection of which is an objective of a development plan or local area plan for the area in which the development is proposed or, pending the variation of a development plan or local area plan, or the making of a new development plan or local area plan, in the draft variation of the development plan or the local area plan or the draft development plan or draft local area plan, | N/A |
| (viiA) consist of or comprise the excavation, alteration or demolition of any archaeological monument included in the Record of Monuments and Places, pursuant to section 12 (1) of the National Monuments (Amendment) Act 1994, save that this provision shall not apply to any excavation or any works, pursuant to and in accordance with a consent granted under section 14 or a licence granted under section 26 of the National Monuments Act 1930 (No. 2 of 1930) as amended,                                                                                                                                                                               | N/A |

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |     |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----|
| (viiB) comprise development in relation to which a planning authority or An Bord Pleanála is the competent authority in relation to appropriate assessment and the development would require an appropriate assessment because it would be likely to have a significant effect on the integrity of a European site,                                                                                                                                                                                                                                                        |     |
| (viiC) consist of or comprise development which would be likely to have an adverse impact on an area designated as a natural heritage area by order made under section 18 of the Wildlife (Amendment) Act 2000.                                                                                                                                                                                                                                                                                                                                                            | N/A |
| (viii) consist of or comprise the extension, alteration, repair or renewal of an unauthorised structure or a structure the use of which is an unauthorised use,                                                                                                                                                                                                                                                                                                                                                                                                            | N/A |
| (ix) consist of the demolition or such alteration of a building or other structure as would preclude or restrict the continuance of an existing use of a building or other structure where it is an objective of the planning authority to ensure that the building or other structure would remain available for such use and such objective has been specified in a development plan for the area or, pending the variation of a development plan or the making of a new development plan, in the draft variation of the development plan or the draft development plan, | N/A |
| (x) consist of the fencing or enclosure of any land habitually open to or used by the public during the 10 years preceding such fencing or enclosure for recreational purposes or as a means of access to any seashore, mountain, lakeshore, riverbank or other place of natural beauty or recreational utility,                                                                                                                                                                                                                                                           | N/A |
| (xi) obstruct any public right of way,                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | N/A |
| (xii) further to the provisions of section 82 of the Act, consist of or comprise the carrying out of works to the exterior of a structure, where the structure concerned is located                                                                                                                                                                                                                                                                                                                                                                                        | N/A |

|                                                                                                                                                                                                                                                                                                                                                                                      |     |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----|
| within an architectural conservation area or an area specified as an architectural conservation area in a development plan for the area or, pending the variation of a development plan or the making of a new development plan, in the draft variation of the development plan or the draft development plan and the development would materially affect the character of the area, |     |
| <b>(b) in an area to which a special amenity area order relates, if such development would be development:—</b>                                                                                                                                                                                                                                                                      | N/A |
| (i) of class 1, 3, 11, 16, 21, 22, 27, 28, 29, 31, (other than paragraph (a) thereof ), 33 (c) (including the laying out and use of land for golf or pitch and putt or sports involving the use of motor vehicles, aircraft or firearms), 39, 44 or 50(a) specified in column 1 of Part 1 of Schedule 2, or                                                                          | N/A |
| (ii) consisting of the use of a structure or other land for the exhibition of advertisements of class 1, 4, 6, 11, 16 or 17 specified in column 1 of Part 2 of the said Schedule or the erection of an advertisement structure for the exhibition of any advertisement of any of the said classes, or                                                                                | N/A |
| (iii) of class 3, 5, 6, 7, 8, 9, 10, 11, 12 or 13 specified in column 1 of Part 3 of the said Schedule, or                                                                                                                                                                                                                                                                           | N/A |
| (iv) of any class of Parts 1, 2 or 3 of Schedule 2 not referred to in subparagraphs (i), (ii) and (iii) where it is stated in the order made under section 202 of the Act that such development shall be prevented or limited,                                                                                                                                                       | N/A |
| <b>(c) if it is development to which Part 10 applies, unless the development is required by or under any statutory provision (other than the Act or these Regulations) to comply with procedures for the purpose of giving effect to the Council Directive,</b>                                                                                                                      | N/A |
| <b>(d) if it consists of the provision of, or modifications to, an establishment, and could have significant repercussions on major accident hazards.</b>                                                                                                                                                                                                                            | N/A |



|                                                                                                                                                                                                                                                                                                                                             |     |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----|
| <b>Article 9(2)</b><br>Sub-article (1)(a)(vi) shall not apply where the development consists of the construction by any electricity undertaking of an overhead line or cable not exceeding 100 metres in length for the purpose of conducting electricity from a distribution or transmission line to any premises.                         | N/A |
| <b>Article 9 (3)</b><br>For the avoidance of doubt, sub-article (1)(a)(vii) shall not apply to any operation or activity in respect of which a Minister of the Government has granted consent or approval in accordance with the requirements of regulation 31 of the Habitats Regulations 1997, and where regulation 31(5) does not apply. | N/A |

### **Appropriate Assessment**

Having regard to the nature and scale of the proposed development and the absence of proximity or connectivity to a Natura 2000 European Site, no Appropriate Assessment issues arise and it is not considered that the proposed development would be likely to have a significant effect individually or in combination with other plans or projects, on a European Site. An appropriate assessment screening report and determination is attached to this report.

### **Environmental Impact Assessment**

Having regard to the nature, size and location of the proposed development and to the criteria set out in Schedule 7 of the Regulations it has been concluded at preliminary examination that there is no real likelihood of significant effects on the environment arising from the proposed development. EIA, therefore, is not required.

### **Conclusion/Recommendation**

The proposal comprises the demolition of an attached side garage, the construction of a single-storey rear extension with a floor area of approximately 32.2m<sup>2</sup> and associated refurbishment works to the existing dwelling. The proposal constitutes development within the meaning of Sections 2 and 3 of the Planning and Development Act 2000 (as amended)

The internal refurbishment works fall within the scope of Section 4(1)(h) of the Planning and Development Act 2000 (as amended). The proposed rear extension has been assessed under Class 1 of Part 1 of Schedule 2 of the Planning and Development Regulations 2001 (as amended by the Planning and Development (Exempted Development (Act of 2000)) Regulations 2026)

It is considered that the attached side garage forms part of the original dwelling and is not considered a previous extension for the purposes of the Class 1 assessment. The proposed rear extension, having a floor area of approximately 32.2m<sup>2</sup>, is below the 45m<sup>2</sup> limitation prescribed under Class 1 of the 2026 Regulations and complies with the relevant conditions and limitations of that class.

The proposed demolition works also comply with the provisions of Class 50(b) of Part 1 of Schedule 2 of the Planning and Development Regulations 2001 (as amended).

Regard has been had to -

- (a) Sections 2, 3 and 4 of the Planning and Development Act 2000 (as amended);
- (b) Article 6 and Article 9 of the Planning and Development Regulations 2001 (as amended);
- (c) Classes 1 and 50(b) of Part 1 of Schedule 2 of the Planning and Development Regulations 2001 (as amended by the Planning and Development (Exempted Development (Act of 2000)) Regulations 2026);
- (d) The plans and particulars submitted with the application received on 14th July 2026.

It is therefore considered that the proposed demolition of the attached side garage, construction of a single-storey rear extension and associated refurbishment works constitute development under Sections 2 and 3 of the Planning and Development Act 2000 (as amended) and exempted development under Section 4 of the Planning and Development Act 2000 (as amended), Article 6 and Classes 1 and 50(b) of Part 1 of Schedule 2 of the Planning and Development Regulations 2001 (as amended).

|                                 |                                                                                     |                                   |
|---------------------------------|-------------------------------------------------------------------------------------|-----------------------------------|
| <b>Student Planner</b>          |  | <b>Date:</b><br><b>11/08/2026</b> |
| <b>Signature:</b>               |                                                                                     |                                   |
| <b>Senior Executive Planner</b> | <b>Grainne O'Keeffe</b>                                                             | <b>Date:11/08/2026</b>            |
| <b>Signature</b>                |  |                                   |

## Appendix 1: AA PN01 Screening Form

| <b>STEP 1: Description of the project/proposal and local site characteristics:</b> |                                                                                                                                                                                                                                                                                                                                                                                                                                                               |
|------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>File Reference No:</b>                                                          | EC-119-26                                                                                                                                                                                                                                                                                                                                                                                                                                                     |
| <b>Brief description of the project or plan:</b>                                   | The proposal involves the demolition of this existing attached side extension/garage and the construction of a new single-storey rear extension                                                                                                                                                                                                                                                                                                               |
| <b>Brief description of site characteristics:</b>                                  | The site comprises a semi-detached two-storey dwelling located within the established residential area of Shelbourne Park, Ennis Road, Limerick. The property includes a single-storey side extension/garage attached to the dwelling. The property includes an attached single-storey side extension/garage. The proposal involves the demolition of this existing attached side extension/garage and the construction of a new single-storey rear extension |
| <b>Relevant prescribed bodies consulted:<br/>e.g. DHLGH (NPWS), EPA, OPW</b>       | N/A                                                                                                                                                                                                                                                                                                                                                                                                                                                           |
| <b>Response to consultation:</b>                                                   | N/A                                                                                                                                                                                                                                                                                                                                                                                                                                                           |

| <b>STEP 2: Identification of relevant Natura 2000 sites using Source-Pathway-Receptor model and compilation of information on Qualifying Interests and conservation objectives.</b> |                                                                                                             |                                                             |                                               |                                            |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------|-----------------------------------------------|--------------------------------------------|
| <b>European Site (code)</b>                                                                                                                                                         | <b>List of Qualifying Interest/Special Conservation Interest <sup>1</sup></b>                               | <b>Distance from proposed development <sup>2</sup> (km)</b> | <b>Connections (Source-Pathway-Receptors)</b> | <b>Considered further in screening Y/N</b> |
| 002165-Lower River Shannon SAC                                                                                                                                                      | <a href="https://www.npws.ie/protected-sites/sac/002165">https://www.npws.ie/protected-sites/sac/002165</a> | Approx. 745m                                                | None                                          | N                                          |
| 004077-River Shannon and River Fergus Estuaries SPA                                                                                                                                 | <a href="https://www.npws.ie/protected-sites/spa/004077">https://www.npws.ie/protected-sites/spa/004077</a> | Approx. 936m                                                | None                                          | N                                          |

| <b>STEP 3: Assessment of Likely Significant Effects</b>                                                                                                                                                                                                                                                                                                                             |                                                                       |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------|
| <b>Identify all potential direct and indirect impacts that may have an effect on the conservation objectives of a European site, taking into account the size and scale of the project under the following headings:</b>                                                                                                                                                            |                                                                       |
| <b>Impacts:</b>                                                                                                                                                                                                                                                                                                                                                                     | <b>Possible Significance of Impacts:<br/>(duration/Magnitude etc)</b> |
| <b>Construction phase e.g.</b><br>Vegetation clearance<br>Demolition<br>Surface water runoff from soil excavation/infill/landscaping (including borrow pits)<br>Dust, noise, vibration<br>Lighting disturbance<br>Impact on groundwater/dewatering<br>Storage of excavated/construction materials<br>Access to site<br>Pests                                                        | None. No direct encroachment or hydrological connection.              |
| <b>Operation phase e.g.</b><br>Direct emission to air and water<br>Surface water runoff containing contaminant or sediment<br>Lighting disturbance<br>Noise/vibration<br>Changes to water/groundwater due to drainage or abstraction<br>Presence of people, vehicles and activities<br>Physical presence of structures (e.g collision risk)<br>Potential for accidents or incidents | None. No direct encroachment or hydrological connection.              |
| <b>In-combination/Other</b>                                                                                                                                                                                                                                                                                                                                                         | n/a                                                                   |

| <b>Describe any likely changes to the European site:</b>                                                                                                                                                                                                                                                                                                                   |                                                          |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------|
| Examples of the type of changes to give consideration to include:<br>Reduction or fragmentation of habitat area<br>Disturbance to QI species<br>Habitat or species fragmentation<br>Reduction or fragmentation in species density<br>Changes in key indicators of conservation status value (water or air quality etc)<br>Changes to areas of sensitivity or threats to QI | None. No direct encroachment or hydrological connection. |



|                                                                                                      |
|------------------------------------------------------------------------------------------------------|
| Interference with the key relationships that define the structure or ecological function of the site |
|------------------------------------------------------------------------------------------------------|

(Are '*mitigation*' measures necessary to reach a conclusion that likely significant effects can be ruled out at screening?)

☐ Yes      ☒ No

#### STEP 4: Screening Determination Statement

##### The assessment of significance of effects:

Describe how the proposed development (alone or in-combination is/is not likely to have significant effects on European site (s) in view of its conservation objectives

On the basis of the information submitted, which is considered adequate to undertake a screening determination and having regard to:

the nature and scale of the proposed development,  
the intervening land uses and distance from European sites,  
the lack of direct connections with regard to the Source-Pathway-Receptor model,  
it is concluded that the proposed development, individually or in-combination with other plans or projects, would not be likely to have a significant effect on the above listed European sites or any other European site, in view of the said sites' conservation objectives.

**Conclusion:** An appropriate assessment is not required.

|                                                                                               | Tick as appropriate:                | Recommendation:                                                                                                                                                                   |
|-----------------------------------------------------------------------------------------------|-------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| It is clear that there is <b>no likelihood</b> of significant effects on a European Site      | <input checked="" type="checkbox"/> | The proposal can be screened out: Appropriate Assessment not required.                                                                                                            |
| It is <b>uncertain</b> whether the proposal will have a significant effect on a European Site | <input type="checkbox"/>            | <input type="checkbox"/> Request further information to complete screening<br><br><input type="checkbox"/> Request NIS<br><br><input type="checkbox"/> Refuse planning permission |
| <b>Significant effects</b> are likely                                                         | <input type="checkbox"/>            | <input type="checkbox"/> Request NIS<br><br><input type="checkbox"/> Refuse planning permission                                                                                   |





|  |                                     |
|--|-------------------------------------|
|  | 11/8/2026 <i>G. Ledle.</i><br>_____ |
|--|-------------------------------------|

### **Appendix 3: Site visit XX/XX/2025**

----> insert site visit photos here





Comhairle Cathrach  
& Contae Luimnigh  
**Limerick City**  
& County Council

An Roinn Pleanála  
Comhairle Cathrach agus Contae Luimnigh  
Bóthar Thuar an Daill  
Tuar an Daill  
Luimneach  
V94 WV78

Planning Department  
Limerick City & County Council  
Dooradoyle Road  
Dooradoyle  
Limerick  
V94 WV78

t: 061 556 000

## DEVELOPMENT MANAGEMENT, PLANNING

### REG POST:

**Aoife Quinn and David O' Farrell**  
**Wood Road,**  
**Cratloe,**  
**Co. Clare**

**EC/119/26**

**11 August 2026**

**Re: Declaration under Section 5**

---

Dear Sir/Madam,

I refer to the above application for Section 5 Declaration on Development and Exempted Development.

Please find herewith a copy of Council's decision on same.

Yours faithfully,

  
**(for) Senior Planner,**  
**Development Management**

**LIMERICK CITY & COUNTY COUNCIL**

**APPROVED OFFICER'S ORDER**

**SECTION 5 – DECLARATION ON DEVELOPMENT AND EXEMPTED DEVELOPMENT**

**No. AOO/DC/2026/1010**

**File Ref No. EC/119/26**

**SUBJECT:** Declaration under Section 5.  
Planning and Development Act 2000 as amended  
Planning and Development Regulations 2001 as amended

**RE:** **Demolition of an existing attached single-storey side extension/garage and the construction of a new single-storey rear extension, together with associated refurbishment works to the existing dwelling at 53 Shelbourne Park, Ennis Road, Limerick**

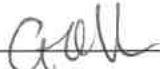
**ORDER:** Whereas by Director General's Order No. DG/2026/058 dated 25<sup>th</sup> May 2026, Dr. Pat Daly, Director General, Limerick City & County Council did, pursuant to the powers conferred on him by Section 154 of the Local Government Act, 2001, (as amended by the Local Government Reform Act, 2014 and the Local Government (Mayor of Limerick) and Miscellaneous Provisions Act, 2024), delegate unto Grainne O'Keeffe, Senior Executive Planner the functions as defined in the Local Government Acts, 1925 to 2024.

Now therefore pursuant to the delegation of the functions aforesaid, I, Grainne O'Keeffe, Senior Executive Planner, having considered the report and recommendation of Una Walsh, Student Planner dated 11/08/2026, hereby order that a Declaration under Section 5 of the Planning and Development Act 2000 (as amended) be issued to Aoife Quinn and David O' Farrell, Wood Road, Cratloe, Co. Clare to state that the works as described above is

*&*

**Development and is Exempt Development.**

Signed

  
\_\_\_\_\_  
SENIOR EXECUTIVE PLANNER, DEVELOPMENT MANAGEMENT,  
PLANNING

Date

  
\_\_\_\_\_  
12/8/26



Comhairle Cathrach  
& Contae Luimnigh  
**Limerick City**  
& County Council

An Roinn Pleanála  
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## **SECTION 5 – DECLARATION ON DEVELOPMENT AND EXEMPTED DEVELOPMENT**

### **DECLARATION NO.**

**EC/119/26**

**Name and Address of Applicant:** Aoife Quinn and David O' Farrell, Wood Road, Cratloe, Co. Clare

**Agent:** N/A

**Whether** the demolition of an existing attached single-storey side extension/garage and the construction of a new single-storey rear extension, together with associated refurbishment works to the existing dwelling at 53 Shelbourne Park, Ennis Road, Limerick is or is not Development or is or is not Exempted Development. The works as described on the plans submitted with the application on the 14<sup>th</sup> day of July 2026.

**AND WHEREAS** the Planning Authority has concluded that the demolition of an existing attached single-storey side extension/garage and the construction of a new single-storey rear extension, together with associated refurbishment works to the existing dwelling at 53 Shelbourne Park, Ennis Road, Limerick **DOES** come within the scope of exempted development under Sections 2 and 3 of the Planning and Development Act 2000 (as amended) and exempted development under Section 4 of the Planning and Development Act 2000 (as amended), Article 6 and Classes 1 and 50(b) of Part 1 of Schedule 2 of the Planning and Development Regulations 2001 (as amended). See Report attached.

**NOW THEREFORE** the Planning Authority in exercise of the powers conferred on it by Section 5(2) (a) of the Planning and Development Act 2000 (as amended) hereby decides that the said development as described above is **Development and is Exempted Development.**

Signed on behalf of the said Council

Date:

11.8.2026

**NOTE:** A Declaration on Development or Exemption issued by Limerick City & County Council may be referred to An Coimisiún Pleanála on payment of €220 for review within 4 weeks after the issuing of the declaration.