



*Re submitted  
with plans*

**LIMERICK CITY & COUNTY COUNCIL**

**PLANNING AND ENVIRONMENTAL SERVICES**

**SECTION 5 APPLICATION**

**DECLARATION ON DEVELOPMENT AND EXEMPTED DEVELOPMENT**

Applicant's Name: David Ryan

Applicant's Address: Suam, Iona Drive, North Circular Road. Limerick

Telephone No. [REDACTED]

Name of Agent (if any): \_\_\_\_\_

Address: \_\_\_\_\_

Telephone No. \_\_\_\_\_

Address for Correspondence:

Same as above

Location of Proposed development:

Cleeves, O'callaghans, Strand, Limerick

Description of Proposed development:

Unused enclosed yard set behind St Michaels Rowing Club.

We have support from Limerick Twenty Thirty and St Michaels Rowing Club

We think this wellness area will be a great asset to Limerick City and especially the three bridges and will bring much needed activity to the unused site while Limerick Twenty Thirty apply for planning to redevelop the area.

Is this a Protected Structure or within the curtilage of a Protected Structure.

YES/NO NO

Applicant's interest in site: To open a coffee kiosk and wellness sauna

List of plans, drawings, etc. submitted with this application:

yes attached

Have any previous extensions/structures been erected at this location YES/NO

If Yes please provide floor areas of all existing structures:

No

Signature of Applicant (or Agent) David Ryan

**NOTES:** Application must be accompanied by:

- (a) Fee of €80
- (b) Site location map
- (c) Site layout plan
- (d) Dimensioned plans and elevations of the structure and any existing structures.
- (e) Where the declaration is in respect of a farm building, a layout identifying the use of each existing building together with floor area of each building.

\*\*\*\*\*

Application to be forwarded to:

Limerick City & County Council,  
Planning and Environmental Services,  
City & County Council Offices,  
Dooradoyle Road,  
Limerick.

\*\*\*\*\*

**OFFICE USE ONLY**

Ref. No. \_\_\_\_\_ Date Received \_\_\_\_\_

Fee Received \_\_\_\_\_ Date Due \_\_\_\_\_

\*\*\*\*\*

**LIMERICK CITY & COUNTY COUNCIL  
CASH OFFICE  
CIVIC OFFICES  
DOORADOYLE  
CO LIMERICK**

**10/10/2025 12:11:53**

**Receipt No.: LA25/25192172**

**Customer Address:**

DAVID RYAN

'SUAM'

IONA DRIVE

NORTH CIRCULAR ROAD

LIMERICK

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Code	Ref	Amount	VAT
PL041	EXEMPTION CERTIFICATES	80.00 EUR	0.00 EUR

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**Paid with:** Credit / Debit Card

**Subtotal:** 80.00 EUR

**Tax (VAT):** 0.00 EUR

**Total:** 80.00 EUR

**Tendered:** 80.00 EUR

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From: CASH OFFICE HQ

**VAT Reg No: 3267368TH**

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Comhairle Cathrach  
& Contae Luimnigh  
Limerick City  
& County Council





## Form 019 - Drawing Register

**Project Title: Measured Survey of Former Cleveleys Condensed Milk Factory-Building 14**

Job No: 18855-14	Page No: 1	Issued by: Kieran O'Brien
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Drawing. no	Drawing Title.	Size	Issue and Revision (✓= No Revision)
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DISTRIBUTION: DATE DAY OF MONTH ISSUE YEAR	16								
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	20								

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Company Directors: K. O'Brien, M O'Brien.

**Project Title: Measured Survey of Former Clevees Condensed Milk Factory-Building 14**

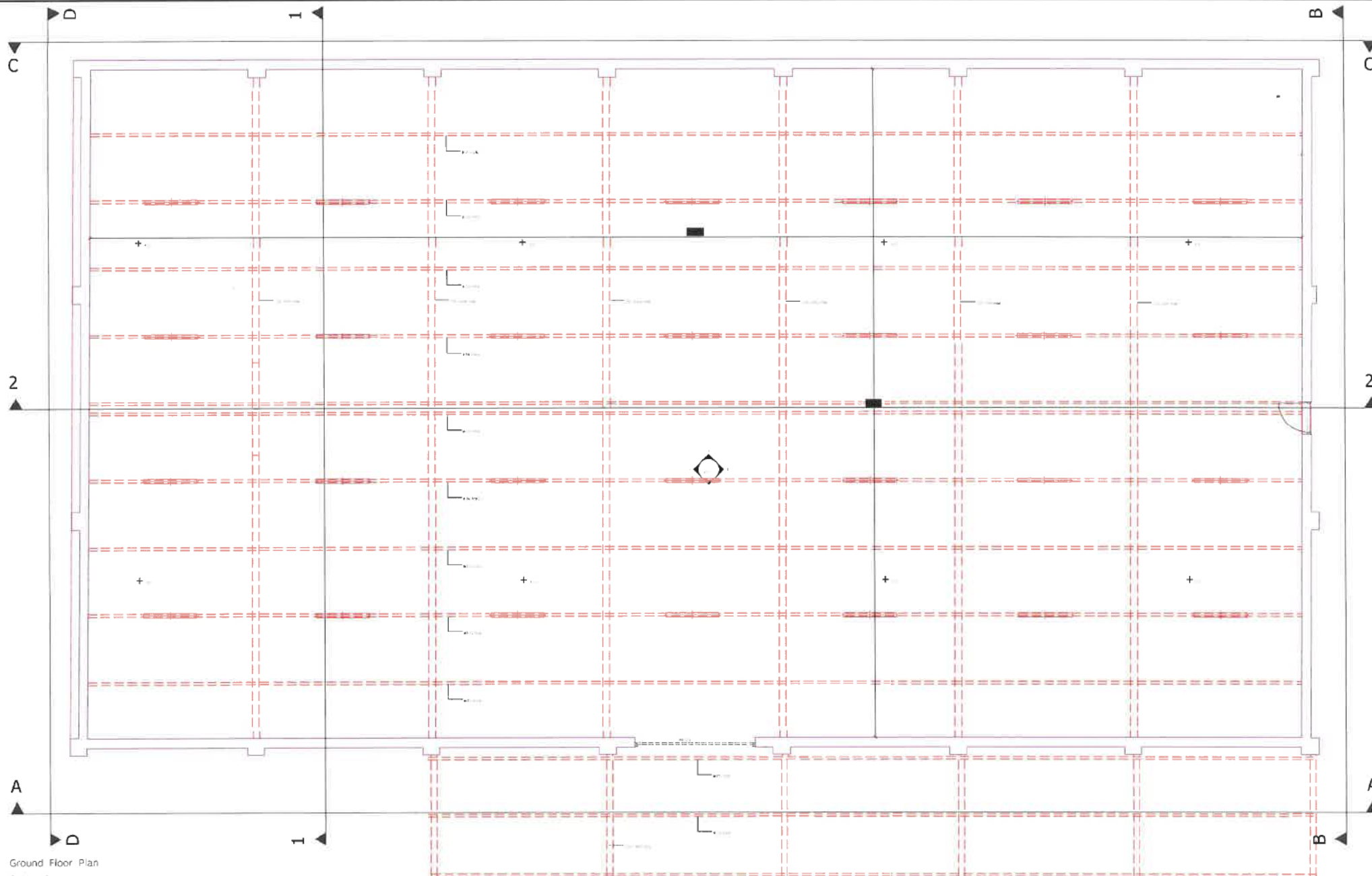
Job No: 18855-14		Page No: 1		Issued by: Kieran O'Brien	
Drawing. no	Drawing Title.	Size	Issue and Revision (√= No Revision)		

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	OF	MONTH	07								
	ISSUE	YEAR	20								

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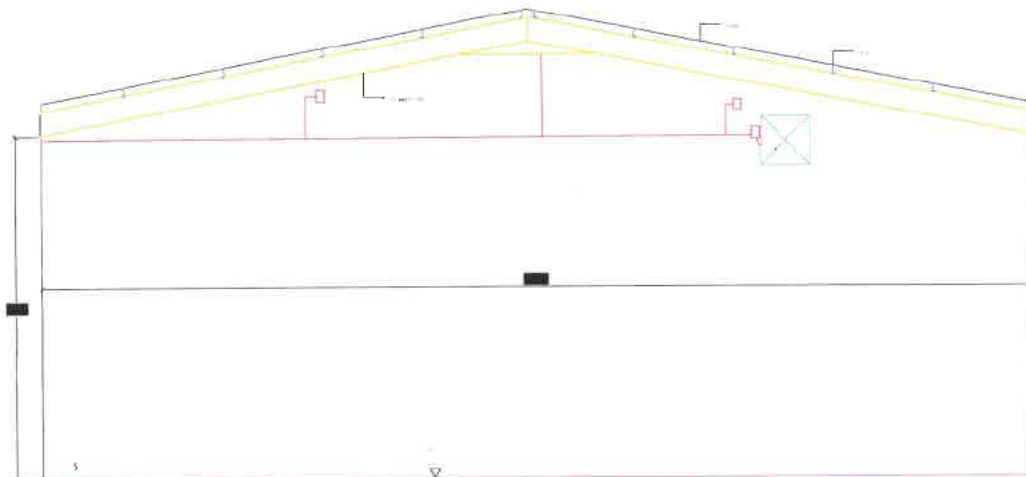
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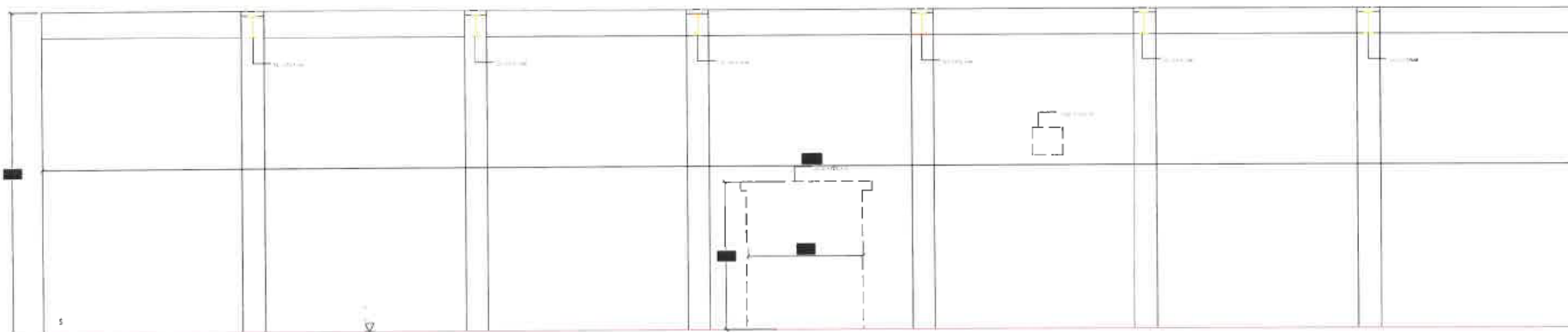
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18885-14 100



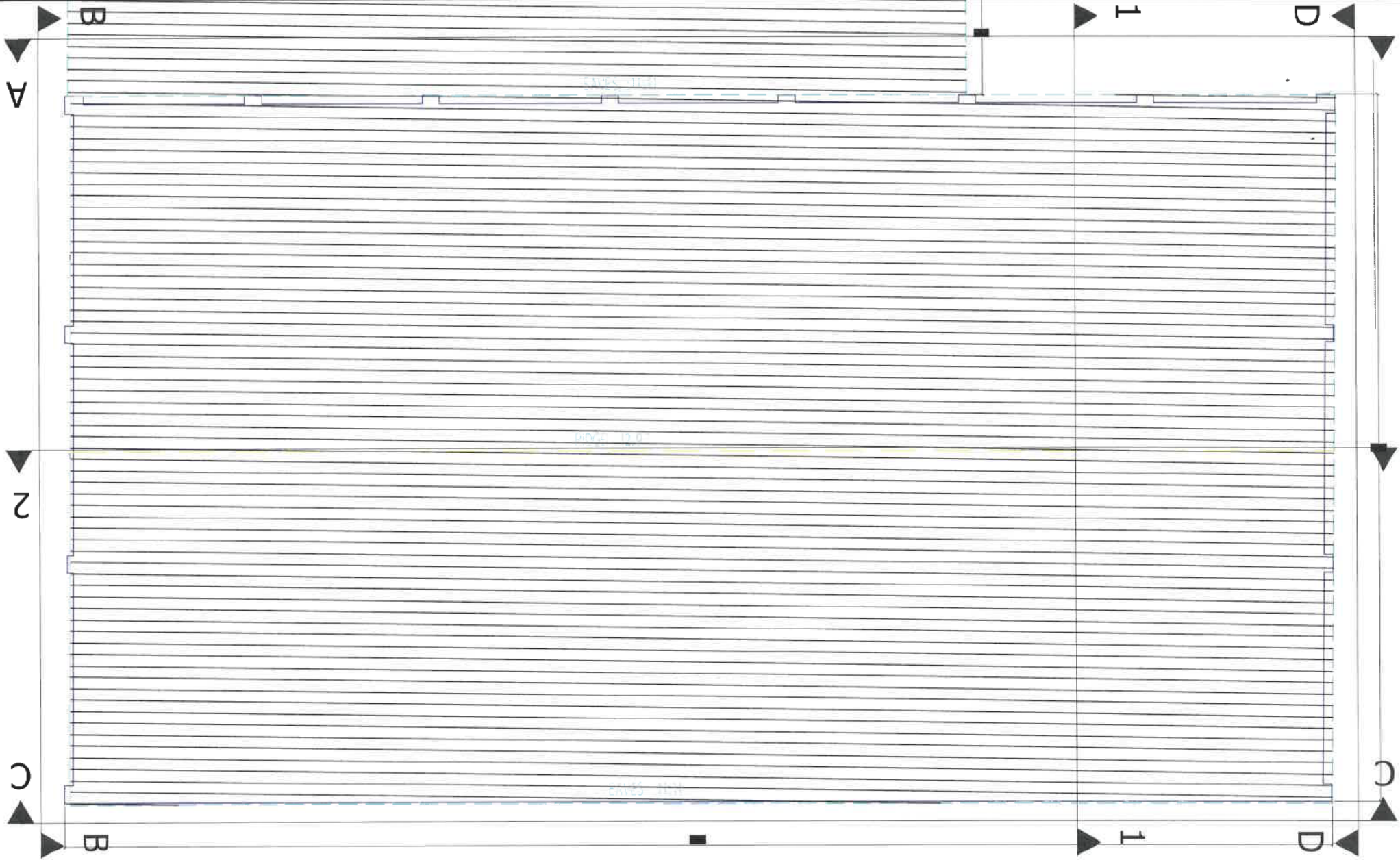
ELEVATION 3  
1401



ELEVATION 4  
1401



	red square		red square		green square		blue square		yellow square		black square		white square
	red square		green square		blue square		yellow square		black square		white square		white square
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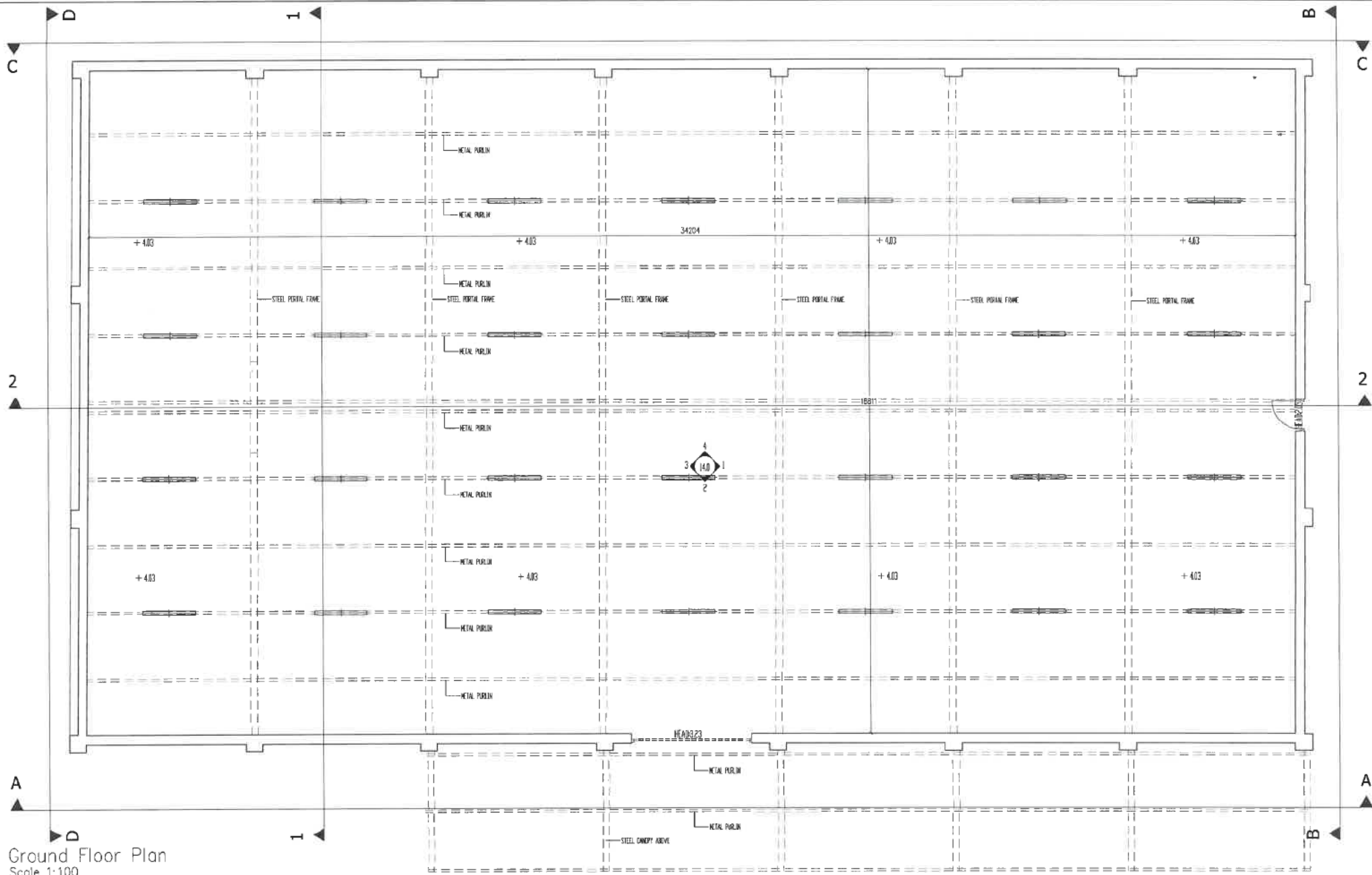
Roof Plan  
Scale 1:100



NORTH



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	12/12		10/12		8/12		6/12		4/12		2/12		0/12
	12/12		10/12		8/12		6/12		4/12		2/12		0/12



Ground Floor Plan  
Scale 1:100



NORTH

**SURVEY NOTES**  
 1. ALL LEVELS ARE RELATED TO MALIN HEAD DATUM (OSGM15)  
 2. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE STATED.  
 3. ANY DISCREPANCIES IN THE SURVEY SHOULD BE REPORTED TO GEODATA SURVEYING LTD IMMEDIATELY.  
 4. DO NOT SCALE. THIS SHALL ONLY BE PERMITTED IN DIGITAL FORM.  
 5. GRID IS 20m X 20m



LEGEND											
	LIGHT FITTING		VENTILATION		GLASS PANEL		ELECTRICAL EQUIPMENT	1.	CLADDING	5.	RENDER
	LIGHT FITTING		FIRE ALARM		FURNITURE		ARTWORK	2.	SLATE	6.	STONE
	LIGHTING SENSOR		SECURITY SYSTEM		EMERGENCY LIGHT		EQUIPMENT MECH	3.	ASBESTOS	7.	BRICK
	SPEAKER		LIGHT FITTING		ELECTRICAL SOCKET/FITTING		LIGHT FITTING	4.	MEMBRANE	8.	PVC
										9.	DASHED RENDER
										10.	RC CONCRETE
										11.	BLOCKWORK
										12.	STONE

REVISION	DATE	DESCRIPTION	DRAWN BY	CHECKED BY
1	17-06-20	ISSUE		

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 Email: info@geodataurveying.ie Website: www.geodataurveying.ie

Client: Limerick 2030

Project: Former Cleveleys Condensed Milk Factory

Title: Building 11 - Floor Plan

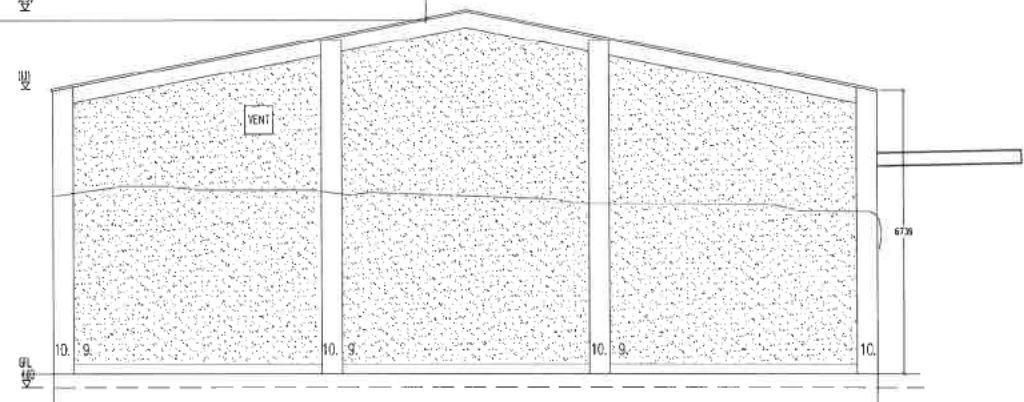
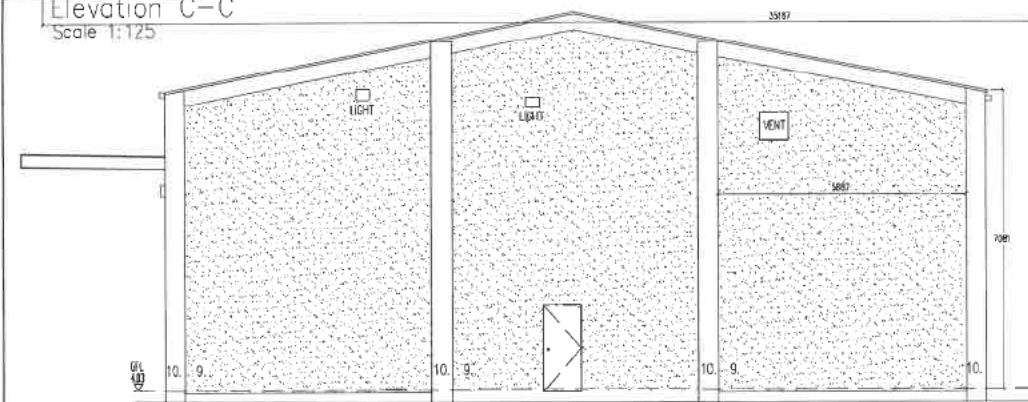
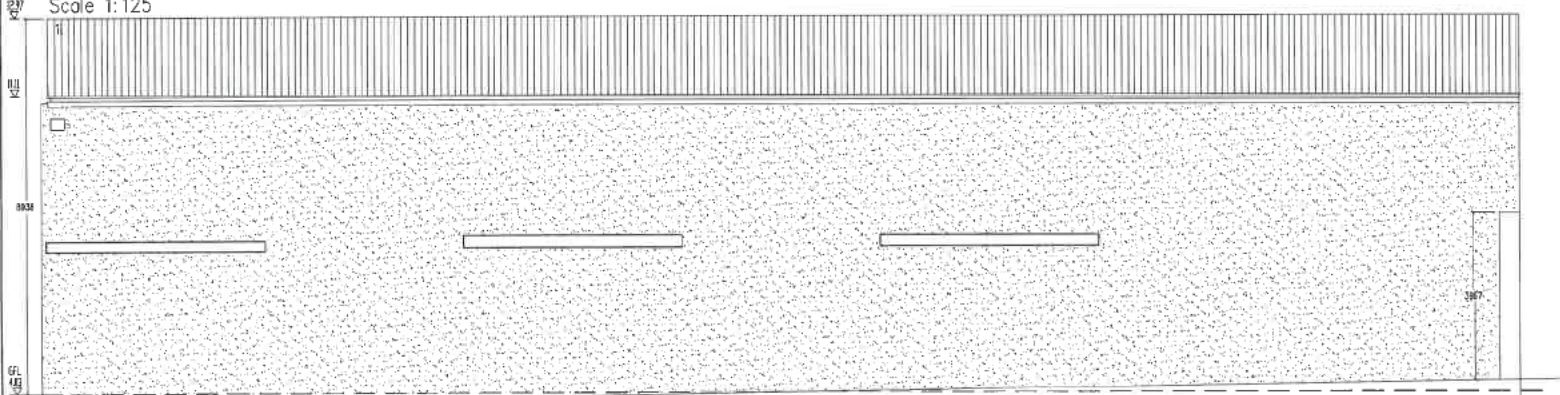
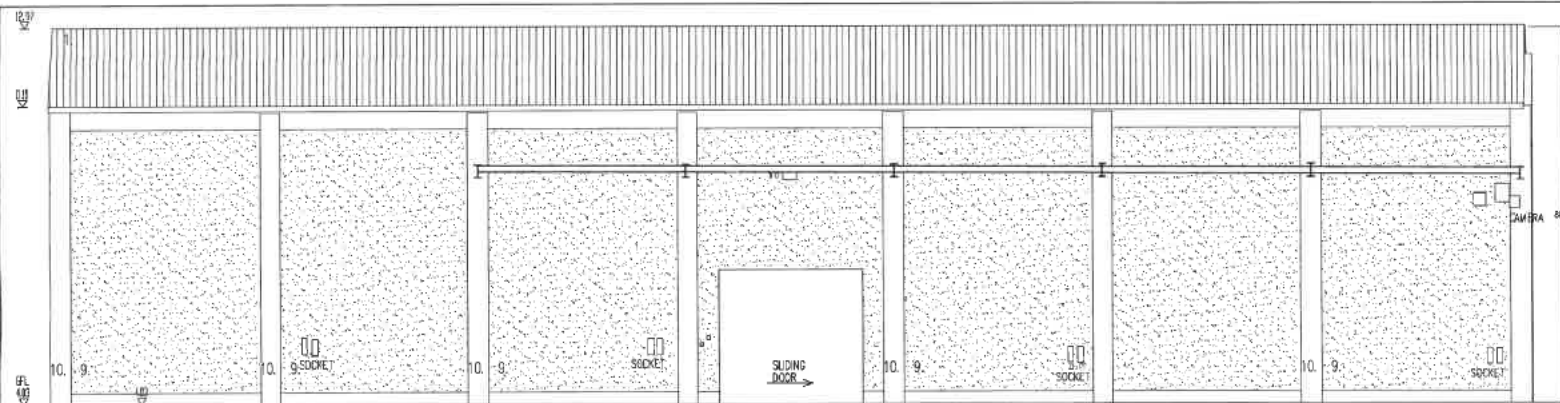
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Date: 16-07-20

Sheet: A3

Drawn No: 18885-14-100
































**SURVEY NOTES**



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LEGEND

- |   |                 |   |                 |   |                        |   |                      |   |          |   |        |   |               |
|---|-----------------|---|-----------------|---|------------------------|---|----------------------|---|----------|---|--------|---|---------------|
|  | LIGHT FITTING   |  | VENTILATION     |  | GLASS PANEL            |  | ELECTRICAL EQUIPMENT |  | CLADDING |  | RENDER |  | DASHED RENDER |
|  | LIGHT FITTING   |  | FIRE ALARM      |  | FURNITURE              |  | ARTWORK              |  | SLATE    |  | STONE  |  | PC CONCRETE   |
|  | LIGHTING SENSOR |  | SECURITY SYSTEM |  | EMERGENCY LIGHT        |  | EQUIPMENT MESH       |  | ASBESTOS |  | BRICK  |  | BLOCKWORK     |
|  | SPEAKER         |  | LIGHT FITTING   |  | ELECTRICAL SCAFFOLDING |  | LIGHT FITTING        |  | MEMBRANE |  | PVC    |  | STONE         |

1	14-10-20	104 SURVEY		16	104
REVISION	DATE	DESCRIPTION		DRN	BY

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Limerick 2030

Project:	Former Cleeves Condensed Milk Factory
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Title: Building 14 - Elevations

Scale: 1-125

Center

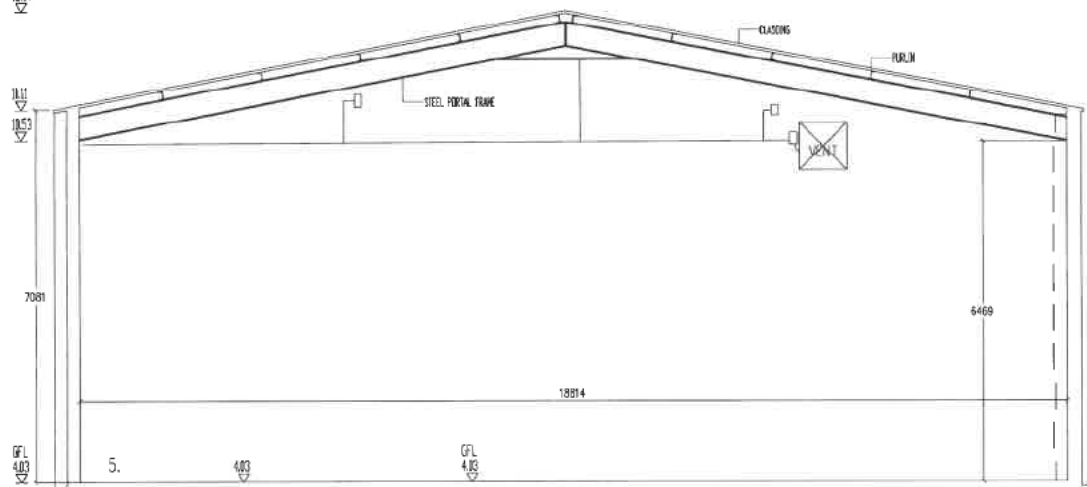
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18885-14-101

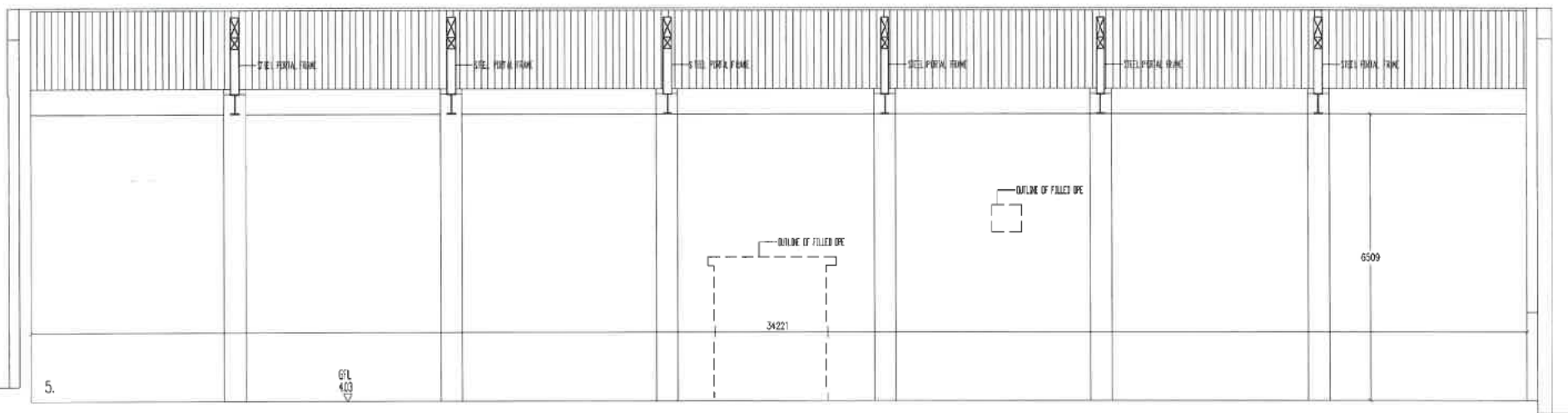
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Scale 1:100

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4.03Section 2-2  
Scale 1:100

## SURVEY NOTES

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2. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE STATED.
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5. GRID IS 20m X 20m



## LEGEND

LIGHT FITTING	VENTILATION	GLASS PANEL	ELECTRICAL EQUIPMENT	1. CLADDING	5. RENDER	9. DASHED RENDER
LIGHT FITTING	FIRE ALARM	FURNITURE	APPLIANCES	2. SLATE	6. STONE	10. RC CONCRETE
LIGHTING SENSOR	SECURITY SYSTEM	EMERGENCY LIGHT	EQUIPMENT MECH	3. ASBESTOS	7. BRICK	11. BLOCKWORK
SPEAKER	LIGHT FITTING	ELECTRICAL SOCKET/FITTING	LIGHT FITTING	4. MEMBRANE	8. PVC	12. STONE

REVISION	DATE	DESCRIPTION	BY	CHK
1	16-07-20	1st survey		
DRAWN BY: DD BY				

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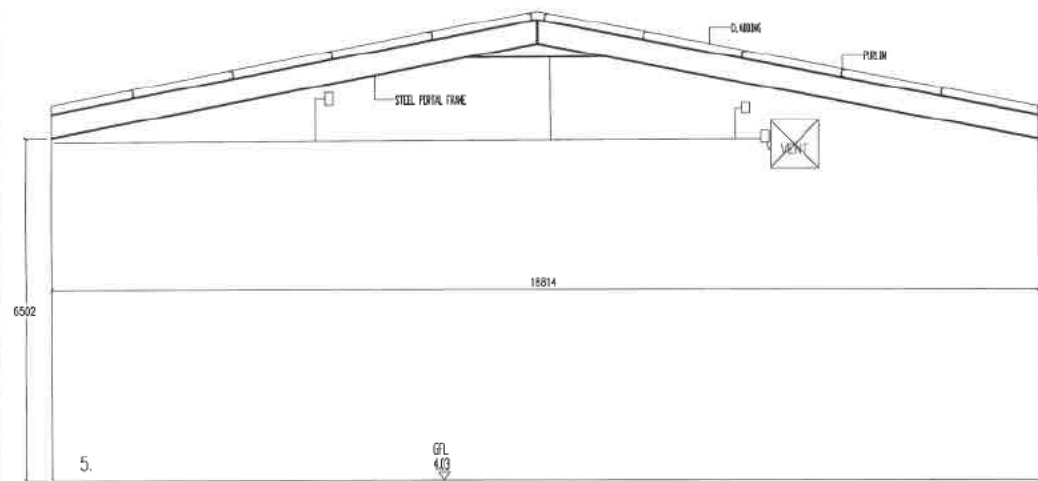


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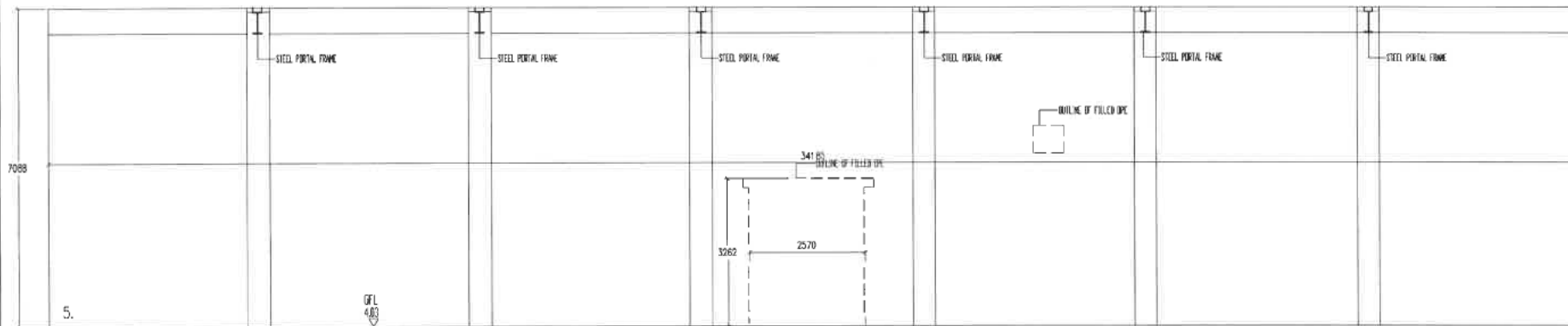
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Client: Limerick 2030	
Project: Former Cleveas Condensed Milk Factory	
Title: Building 14 - Sections	
Scale: 1-100	Dwg. No: 18885-14-102
Date: 16-07-20	Sheet: A3





ELEVATION 3  
1401



ELEVATION 4  
1401

#### SURVEY NOTES

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2. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE STATED
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4. DO NOT SCALE, THIS SHALL ONLY BE PERMITTED IN DIGITAL FORM
5. GRID IS 20m X 20m



#### LEGEND

LIGHT FITTING	VENTILATOR	GLASS PANEL	ELECTRICAL EQUIPMENT	CLADDING	RENDER	DASHED RENDER
LIGHT FITTING	FIRE ALARM	FURNITURE	ARTWORK	SLATE	STONE	PC CONCRETE
LIGHTING SENSOR	SECURITY SYSTEM	EMERGENCY LIGHT	EQUIPMENT MECH	ASBESTOS	BRICK	BLOCKWORK
SPEAKER	LIGHT FITTING	ELECTRICAL SOCKET/FITTING	LIGHT FITTING	MEMBRANE	PVC	STONE

REVISION	DATE	DESCRIPTION	BY	CHK BY
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3	16-07-20	ISSUED FOR TENDERS	1	1
4	16-07-20	ISSUED FOR TENDERS	1	1
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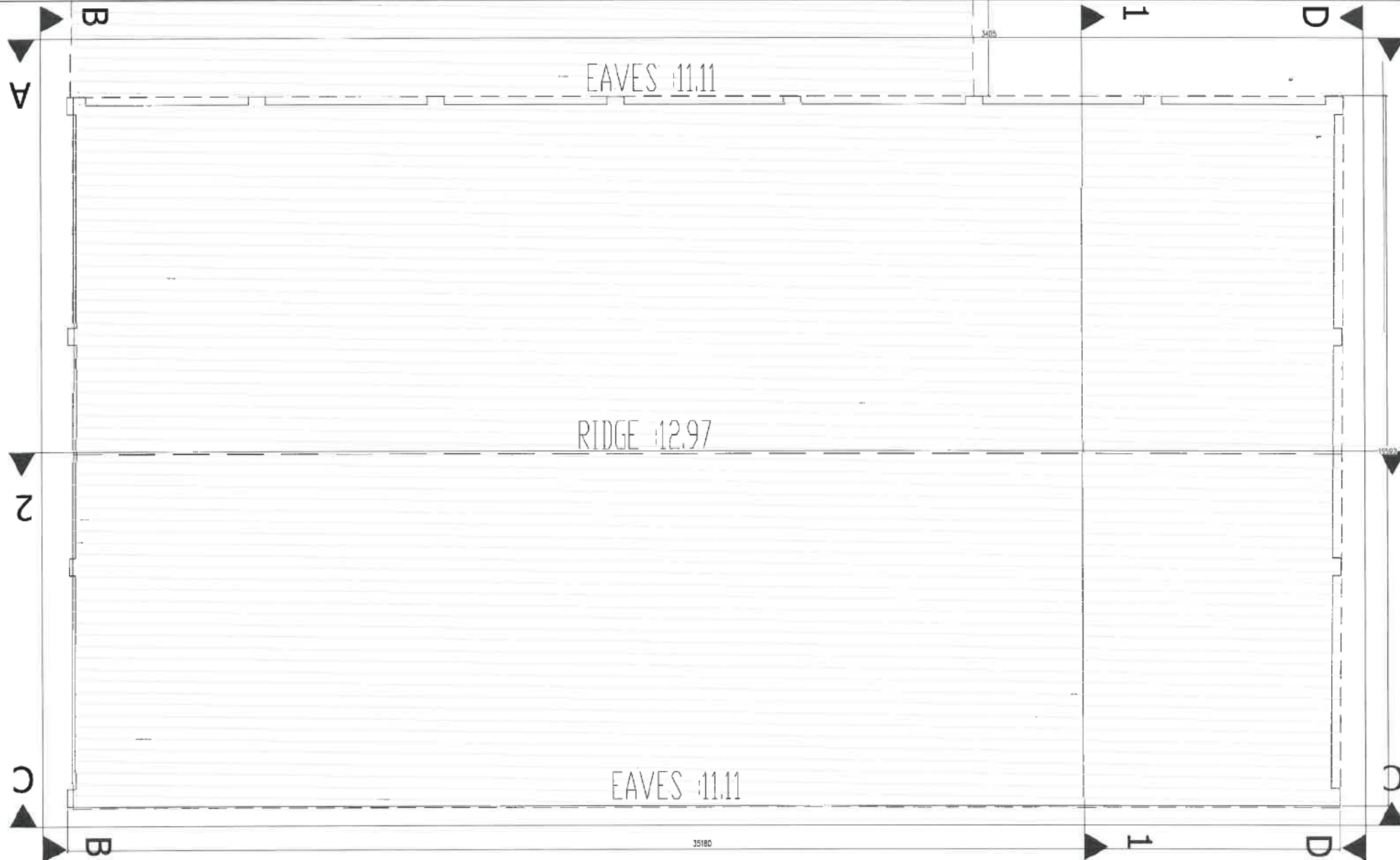
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Client:	Limerick 2030
Project:	Former Cleaves Condensed Milk Factory
Title:	Building 14 - Internal Elevations 03-04
Scale:	1-100
Date:	16-07-20
Sheet:	A3
Dwg. No:	18885-14-201



Roof Plan  
Scale 1:100



NORTH

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**LEGEND**

LIGHT FITTING	VENTILATION	GLASS PANEL	ELECTRICAL EQUIPMENT	1. CLADDING	5. RENDER	9. DASHED RENDER
LIGHT FITTING	FIRE ALARM	FURNITURE	ARTWORK	2. SLATE	6. STONE	10. RC CONCRETE
WORKING SENSOR	SECURITY SYSTEM	EMERGENCY LIGHT	EQUIPMENT MECH	3. ASBESTOS	7. BRICK	11. BLOCKWORK
SPEAKER	LIGHT FITTING	ELECTRICAL SOCKET/FITTING	LIGHT FITTING	4. MEMBRANE	8. PVC	12. STONE

REVISED	DATE	DESCRIPTION	BY	CHK BY	DATE
1	17-06-20	100 SURVEY			

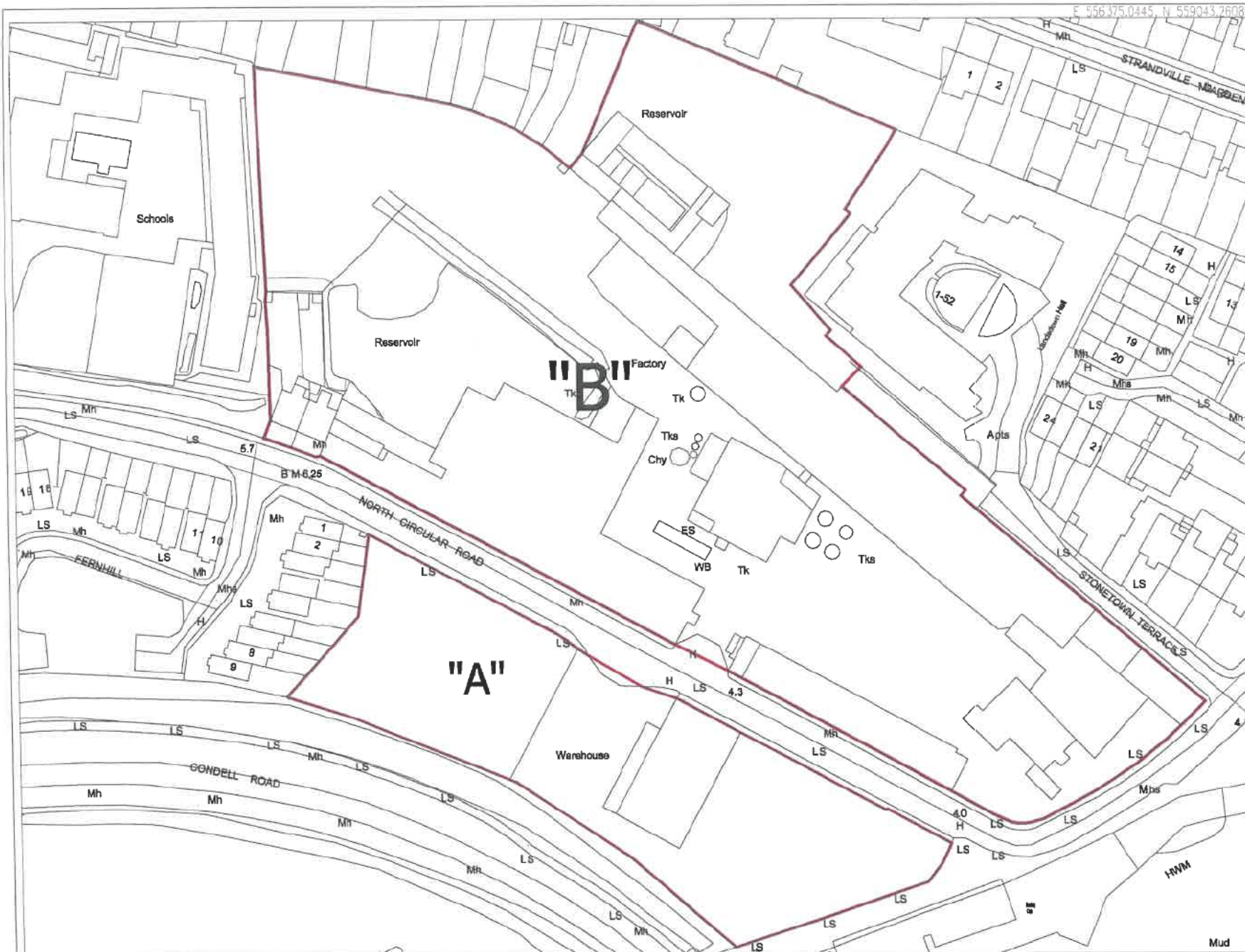
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Client:	Limerick 2030
Project:	Former Cleaves Condensed Milk Factory
Title:	Building 11 - Roof Plan
Scale:	1-100
Date:	16-07-20
Sheet:	A3
Dwg. No:	18885-14-300



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Publisher / Source:  
Ordnance Survey Ireland (OSi)  
Data Source / Reference:  
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Projection / Spatial Reference:  
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Data Extraction Date:  
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Lands Marked "A" denoted by centre of Red Line = 1.748 Acres/ 0.707Ha

Lands Marked "B" denoted by centre of Red Line = 6.504 Acres/ 2.632Ha

Scale: 1:1000 Date 03-03-2020

*Kieran O'Brien*  
Kieran O'Brien  
BEng(Hons) CEng MIEI MRICS/MSCSI.

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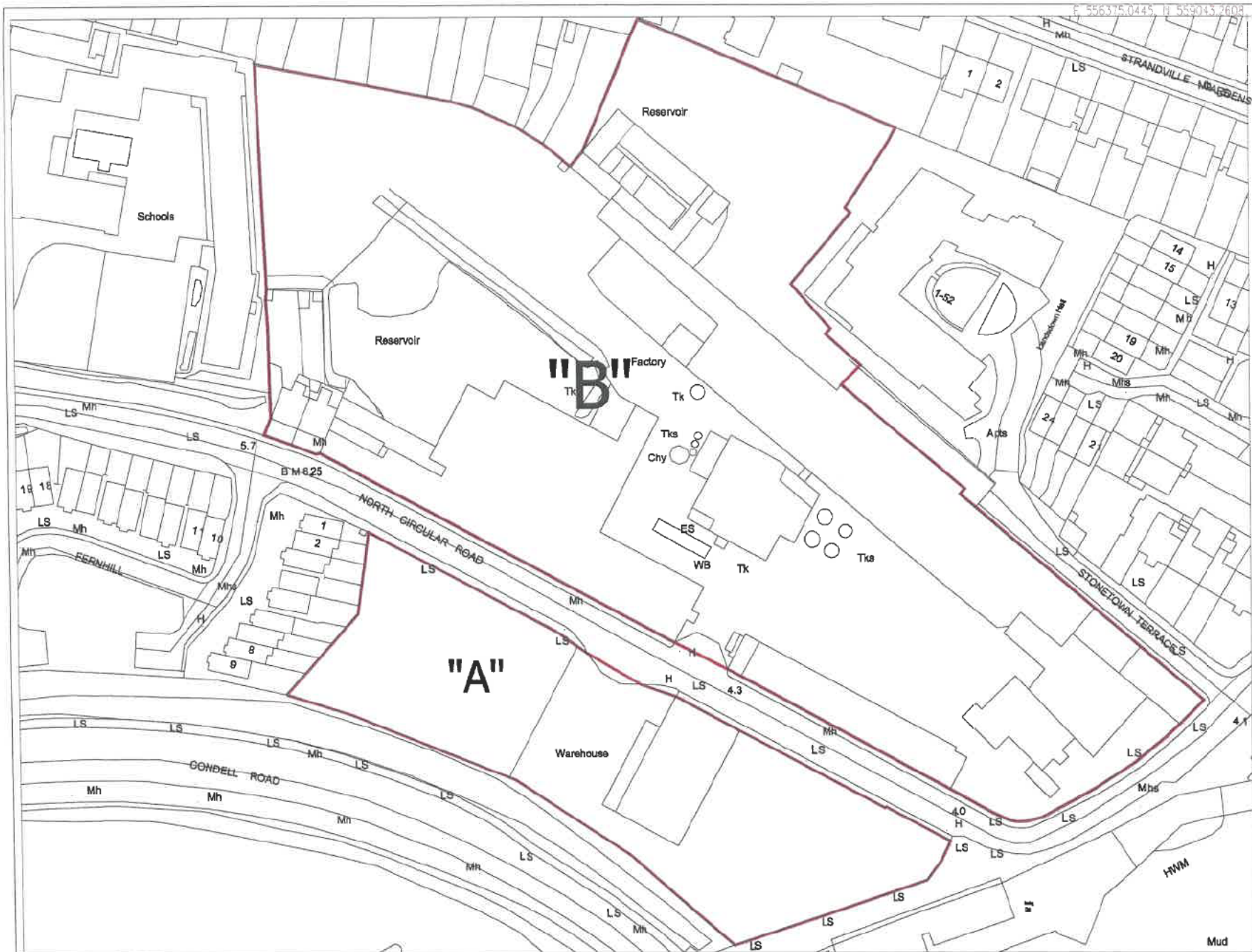
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Description:

Digital Cartographic Model (DCM)

Publisher / Source:  
Ordnance Survey Ireland (OSi)

Data Source / Reference:  
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File Name:  
v\_50076604\_1.dwg

Projection / Spatial Reference:  
Projection=  
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Lands Marked "A" denoted by centre of  
Red Line = 1.748 Acres/ 0.707Ha

Lands Marked "B" denoted by centre of  
Red Line = 6.504 Acres/ 2.632Ha

Scale: 1:1000

Date 03-03-2020

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BEng(Hons) CEng MIEI MRICS/MSCSI.

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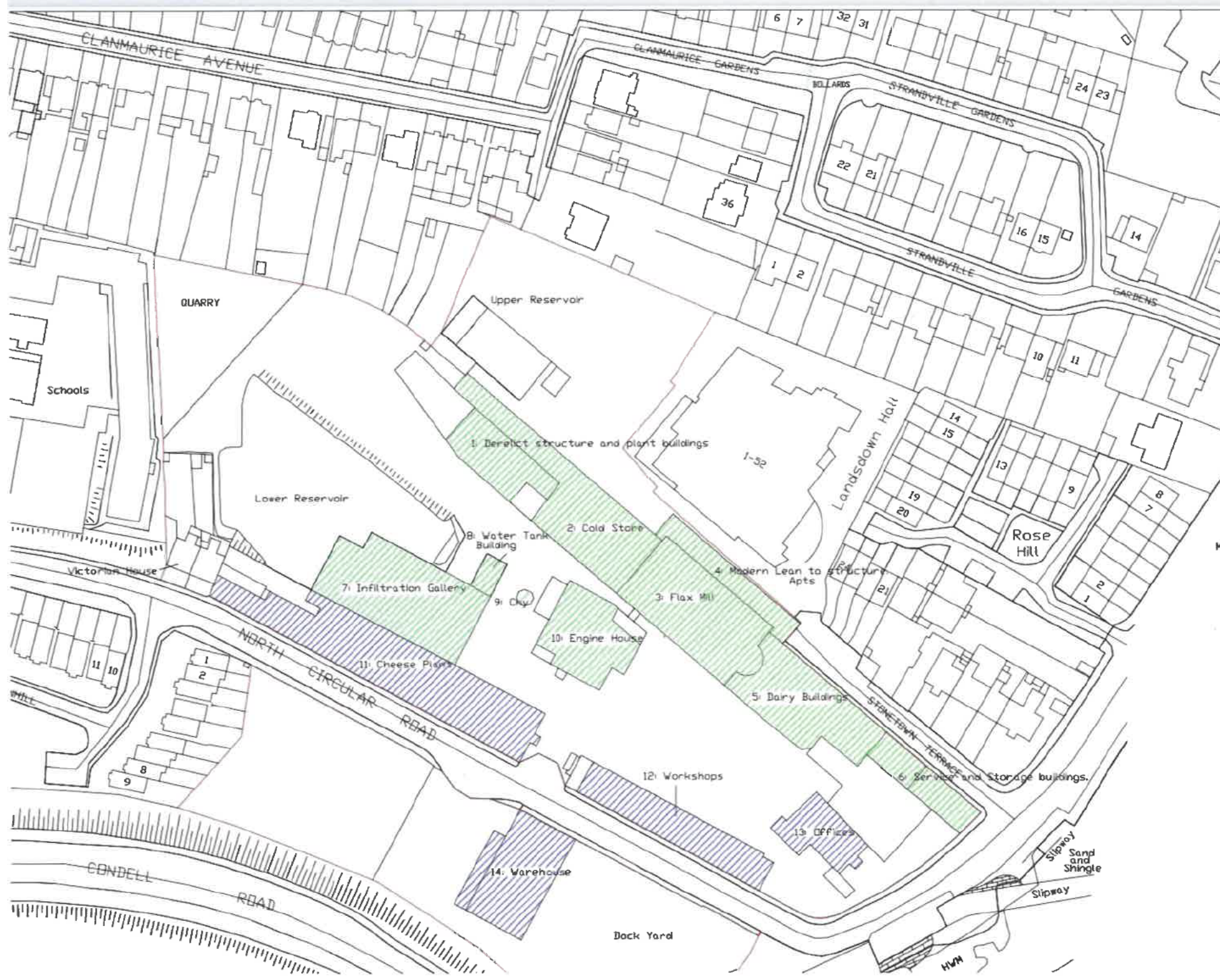
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right of way.

Ní tháirgeann tionscail de chuid Órdainis



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- Legend
1. Derelict structure
  2. Cold Store
  3. Flax Mill
  4. Modern Lean to
  5. Dairy Buildings
  6. Service and Storage
  7. Infiltration Gallery
  8. Water Tank Building
  9. Chimney Stack
  10. Engine House
  11. Cheese Plant
  12. Workshops
  13. Offices
  14. Warehouse

Block A (1 - 10)

Block B (11 - 14)

Site Boundary



Project Data

1	2
3	4
5	6
7	8
9	10
11	12
13	14

All work shall be done in accordance with the relevant standards and specifications.

Notes: 1. All work shall be done in accordance with the relevant standards and specifications.

2. All work shall be done in accordance with the relevant standards and specifications.

3. All work shall be done in accordance with the relevant standards and specifications.

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12. All work shall be done in accordance with the relevant standards and specifications.

13. All work shall be done in accordance with the relevant standards and specifications.

14. All work shall be done in accordance with the relevant standards and specifications.

15. All work shall be done in accordance with the relevant standards and specifications.

16. All work shall be done in accordance with the relevant standards and specifications.

17. All work shall be done in accordance with the relevant standards and specifications.

18. All work shall be done in accordance with the relevant standards and specifications.

19. All work shall be done in accordance with the relevant standards and specifications.

20. All work shall be done in accordance with the relevant standards and specifications.

21. All work shall be done in accordance with the relevant standards and specifications.

22. All work shall be done in accordance with the relevant standards and specifications.

23. All work shall be done in accordance with the relevant standards and specifications.

Scale	1:500 (A1)	Date	28/01/2015
Drawn by	ME	Checked by	DR
Project No.	2015/0001	Revision	0

Architectural Conservation Professionals  
Engineers, Architects, Planners, Surveyors, etc.  
100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

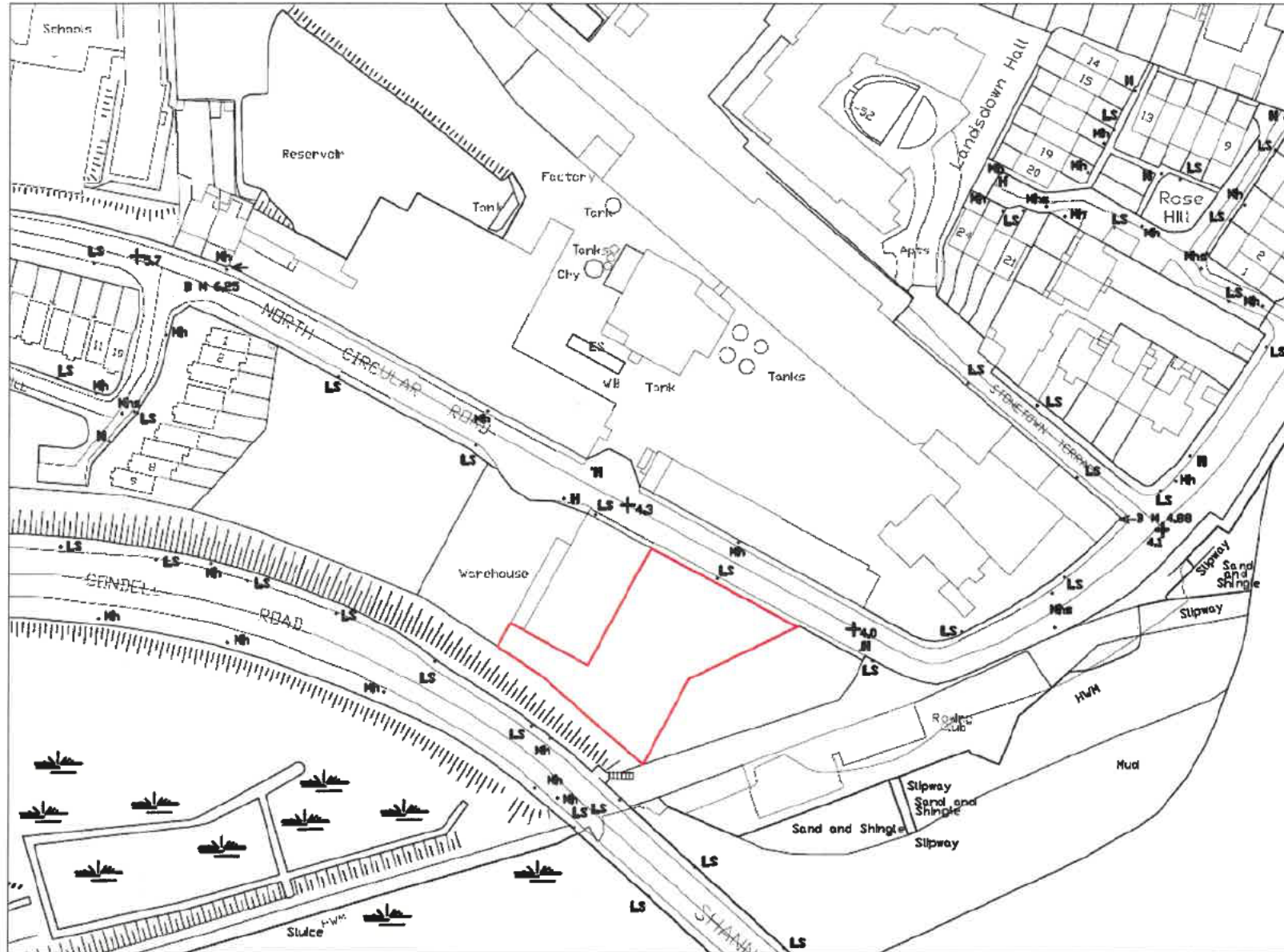
# SECTION 5 SUBMISSION

PROPOSED TEMPORARY DEVELOPMENT AT GOLDEN VALE YARD, NCR, LIMERICK

DATE: 07.10.2025



# SITE LOCATION MAP



GENERAL NOTES:  
A. THIS DRAWING IS FOR PLANNING PURPOSES ONLY.  
B. ALL DIMENSIONS ARE IN MILLIMETERS AND LEVELS METERS.  
C. ALL DIMENSIONS ARE TO FACE OF BLOCK OR BRICK OR STUD TYPICALLY UNLESS NOTED OTHERWISE.  
D. ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH CURRENT BUILDING REGULATIONS.

ORDNANCE SURVEY IRELAND  
LICENCE NO. CTAL50421902

THIS IS A COMPUTER GENERATED MAP  
ITM CENTRE POINT COORDINATES  
X = 335737 Y = 457706  
Ordnance Survey Sheet Number 46E2-21,  
46E2-22, 47-0-01, 47-0-02

SITE BOUNDARY

AREA: 0.146 ha / 0.41 acres



HEALY PARTNERS  
ARCHITECTS  
100-101, 102-103, 104-105, 106-107, 108-109, 110-111, 112-113, 114-115, 116-117, 118-119, 120-121, 122-123, 124-125, 126-127, 128-129, 130-131, 132-133, 134-135, 136-137, 138-139, 140-141, 142-143, 144-145, 146-147, 148-149, 150-151, 152-153, 154-155, 156-157, 158-159, 160-161, 162-163, 164-165, 166-167, 168-169, 170-171, 172-173, 174-175, 176-177, 178-179, 180-181, 182-183, 184-185, 186-187, 188-189, 190-191, 192-193, 194-195, 196-197, 198-199, 200-201, 202-203, 204-205, 206-207, 208-209, 210-211, 212-213, 214-215, 216-217, 218-219, 220-221, 222-223, 224-225, 226-227, 228-229, 230-231, 232-233, 234-235, 236-237, 238-239, 240-241, 242-243, 244-245, 246-247, 248-249, 250-251, 252-253, 254-255, 256-257, 258-259, 260-261, 262-263, 264-265, 266-267, 268-269, 270-271, 272-273, 274-275, 276-277, 278-279, 280-281, 282-283, 284-285, 286-287, 288-289, 290-291, 292-293, 294-295, 296-297, 298-299, 300-301, 302-303, 304-305, 306-307, 308-309, 310-311, 312-313, 314-315, 316-317, 318-319, 320-321, 322-323, 324-325, 326-327, 328-329, 330-331, 332-333, 334-335, 336-337, 338-339, 340-341, 342-343, 344-345, 346-347, 348-349, 350-351, 352-353, 354-355, 356-357, 358-359, 360-361, 362-363, 364-365, 366-367, 368-369, 370-371, 372-373, 374-375, 376-377, 378-379, 380-381, 382-383, 384-385, 386-387, 388-389, 390-391, 392-393, 394-395, 396-397, 398-399, 400-401, 402-403, 404-405, 406-407, 408-409, 410-411, 412-413, 414-415, 416-417, 418-419, 420-421, 422-423, 424-425, 426-427, 428-429, 430-431, 432-433, 434-435, 436-437, 438-439, 440-441, 442-443, 444-445, 446-447, 448-449, 450-451, 452-453, 454-455, 456-457, 458-459, 460-461, 462-463, 464-465, 466-467, 468-469, 470-471, 472-473, 474-475, 476-477, 478-479, 480-481, 482-483, 484-485, 486-487, 488-489, 490-491, 492-493, 494-495, 496-497, 498-499, 500-501, 502-503, 504-505, 506-507, 508-509, 510-511, 512-513, 514-515, 516-517, 518-519, 520-521, 522-523, 524-525, 526-527, 528-529, 530-531, 532-533, 534-535, 536-537, 538-539, 540-541, 542-543, 544-545, 546-547, 548-549, 550-551, 552-553, 554-555, 556-557, 558-559, 560-561, 562-563, 564-565, 566-567, 568-569, 570-571, 572-573, 574-575, 576-577, 578-579, 580-581, 582-583, 584-585, 586-587, 588-589, 590-591, 592-593, 594-595, 596-597, 598-599, 600-601, 602-603, 604-605, 606-607, 608-609, 610-611, 612-613, 614-615, 616-617, 618-619, 620-621, 622-623, 624-625, 626-627, 628-629, 630-631, 632-633, 634-635, 636-637, 638-639, 640-641, 642-643, 644-645, 646-647, 648-649, 650-651, 652-653, 654-655, 656-657, 658-659, 660-661, 662-663, 664-665, 666-667, 668-669, 670-671, 672-673, 674-675, 676-677, 678-679, 680-681, 682-683, 684-685, 686-687, 688-689, 690-691, 692-693, 694-695, 696-697, 698-699, 700-701, 702-703, 704-705, 706-707, 708-709, 710-711, 712-713, 714-715, 716-717, 718-719, 720-721, 722-723, 724-725, 726-727, 728-729, 730-731, 732-733, 734-735, 736-737, 738-739, 740-741, 742-743, 744-745, 746-747, 748-749, 750-751, 752-753, 754-755, 756-757, 758-759, 760-761, 762-763, 764-765, 766-767, 768-769, 770-771, 772-773, 774-775, 776-777, 778-779, 780-781, 782-783, 784-785, 786-787, 788-789, 790-791, 792-793, 794-795, 796-797, 798-799, 800-801, 802-803, 804-805, 806-807, 808-809, 810-811, 812-813, 814-815, 816-817, 818-819, 820-821, 822-823, 824-825, 826-827, 828-829, 830-831, 832-833, 834-835, 836-837, 838-839, 840-841, 842-843, 844-845, 846-847, 848-849, 850-851, 852-853, 854-855, 856-857, 858-859, 860-861, 862-863, 864-865, 866-867, 868-869, 870-871, 872-873, 874-875, 876-877, 878-879, 880-881, 882-883, 884-885, 886-887, 888-889, 890-891, 892-893, 894-895, 896-897, 898-899, 900-901, 902-903, 904-905, 906-907, 908-909, 910-911, 912-913, 914-915, 916-917, 918-919, 920-921, 922-923, 924-925, 926-927, 928-929, 930-931, 932-933, 934-935, 936-937, 938-939, 940-941, 942-943, 944-945, 946-947, 948-949, 950-951, 952-953, 954-955, 956-957, 958-959, 960-961, 962-963, 964-965, 966-967, 968-969, 970-971, 972-973, 974-975, 976-977, 978-979, 980-981, 982-983, 984-985, 986-987, 988-989, 990-991, 992-993, 994-995, 996-997, 998-999, 1000-1001, 1002-1003, 1004-1005, 1006-1007, 1008-1009, 1010-1011, 1012-1013, 1014-1015, 1016-1017, 1018-1019, 1020-1021, 1022-1023, 1024-1025, 1026-1027, 1028-1029, 1030-1031, 1032-1033, 1034-1035, 1036-1037, 1038-1039, 1040-1041, 1042-1043, 1044-1045, 1046-1047, 1048-1049, 1050-1051, 1052-1053, 1054-1055, 1056-1057, 1058-1059, 1060-1061, 1062-1063, 1064-1065, 1066-1067, 1068-1069, 1070-1071, 1072-1073, 1074-1075, 1076-1077, 1078-1079, 1080-1081, 1082-1083, 1084-1085, 1086-1087, 1088-1089, 1090-1091, 1092-1093, 1094-1095, 1096-1097, 1098-1099, 1100-1101, 1102-1103, 1104-1105, 1106-1107, 1108-1109, 1110-1111, 1112-1113, 1114-1115, 1116-1117, 1118-1119, 1120-1121, 1122-1123, 1124-1125, 1126-1127, 1128-1129, 1130-1131, 1132-1133, 1134-1135, 1136-1137, 1138-1139, 1140-1141, 1142-1143, 1144-1145, 1146-1147, 1148-1149, 1150-1151, 1152-1153, 1154-1155, 1156-1157, 1158-1159, 1160-1161, 1162-1163, 1164-1165, 1166-1167, 1168-1169, 1170-1171, 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2082-2083, 2084-2085, 2086-2087, 2088-2089, 2090-2091, 2092-2093, 2094-2095, 2096-2097, 2098-2099, 2100-2101, 2102-2103, 2104-2105, 2106-2107, 2108-2109, 2110-2111, 2112-2113, 2114-2115, 2116-2117, 2118-2119, 2120-2121, 2122-2123, 2124-2125, 2126-2127, 2128-2129, 2130-2131, 2132-2133, 2134-2135, 2136-2137, 2138-2139, 2140-2141, 2142-2143, 2144-2145, 2146-2147, 2148-2149, 2150-2151, 2152-2153, 2154-2155, 2156-2157, 2158-2159, 2160-2161, 2162-2163, 2164-2165, 2166-2167, 2168-2169, 2170-2171, 2172-2173, 2174-2175, 2176-2177, 2178-2179, 2180-2181, 2182-2183, 2184-2185, 2186-2187, 2188-2189, 2190-2191, 2192-2193, 2194-2195, 2196-2197, 2198-2199, 2200-2201, 2202-2203, 2204-2205, 2206-2207, 2208-2209, 2210-2211, 2212-2213, 2214-2215, 2216-2217, 2218-2219, 2220-2221, 2222-2223, 2224-2225, 2226-2227, 2228-2229, 2230-2231, 2232-2233, 2234-2235, 2236-2237, 2238-2239, 2240-2241, 2242-2243, 2244-2245, 2246-2247, 2248-2249, 2250-2251, 2252-2253, 2254-2255, 2256-2257, 2258-2259, 2260-2261, 2262-2263, 2264-2265, 2266-2267, 2268-2269, 2270-2271, 2272-2273, 2274-2275, 2276-2277, 2278-2279, 2280-2281, 2282-2283, 2284-2285, 2286-2287, 2288-2289, 2290-2291, 2292-2293, 2294-2295, 2296-2297, 2298-2299, 2300-2301, 2302-2303, 2304-2305, 2306-2307, 2308-2309, 2310-2311, 2312-2313, 2314-2315, 2316-2317, 2318-2319, 2320-2321, 2322-2323, 2324-2325, 2326-2327, 2328-2329, 2330-2331, 2332-2333, 2334-2335, 2336-2337, 2338-2339, 2340-2341, 2342-2343, 2344-2345, 2346-2347, 2348-2349, 2350-2351, 2352-2353, 2354-2355, 2356-2357, 2358-2359, 2360-2361, 2362-2363, 2364-2365, 2366-2367, 2368-2369, 2370-2371, 2372-2373, 2374-2

## Architect's Description

Placement of Pop-Up Sauna, Plunge Pool and Mobile Coffee Kiosk within Enclosed Yard (adjacent to St Michael's Rowing Club / former Cleeves facility, Limerick)

The proposal concerns the introduction of a small group of prefabricated, demountable elements within the confines of the former Golden Vale Dairy yard, located immediately adjacent to St Michael's Rowing Club and the former Cleeves industrial complex on the River Shannon. The yard remains in active ancillary use for storage of rowing boats and associated equipment and is fully enclosed by stone and masonry boundary walls that preclude public views.

The proposed activity comprises the placement—without construction works—of

- (i) a mobile coffee kiosk,
- (ii) a compact barrel-type sauna with associated plunge tub, and
- (iii) a modest seating area consisting of a few freestanding café-style tables with removable parasols.

### Nature of Installations

All proposed elements are factory-built and designed for relocation. They arrive on site complete or in modular sections and are simply set down on the existing concrete hardstanding. No excavation, permanent foundation, drainage alteration, or building operation is involved.

The proposal therefore constitutes the temporary siting of movable structures rather than the erection of buildings.

#### 1. Pop-Up Coffee Kiosk

The coffee kiosk is a lightweight prefabricated cabin or trailer-type unit, typically 3–4 metres in length, constructed from insulated timber or aluminium panels. It is delivered to site by vehicle and positioned on level ground using adjustable jacks or small pads. Electrical connection is taken from an existing supply within the yard by a single lead through a certified isolator. No external ducting, ventilation stacks, or water or sewerage excavations are required; greywater is contained and removed off-site in accordance with health regulations. The kiosk is wholly reversible—removal leaves the surface unaltered.

#### 2. Pop-Up Sauna and Plunge Pool

The sauna is a freestanding barrel-type model, constructed in timber and resting on timber bearers or precast pads. It is heated by a self-contained stove or low-voltage electric unit, with no fixed chimney beyond its integral flue. Adjacent to it, a compact cold-plunge tub—formed in fibreglass or stainless steel—is likewise freestanding. It is filled via hose connection and emptied manually or through an existing yard gully; no new drainage works or ground breaking is required. Both units can be lifted and removed at any time, leaving no trace of development.

#### 3. Seating Area

A limited number of lightweight outdoor tables and chairs, with detachable umbrellas, will be placed directly on the existing concrete surface. These furnishings are not fixed to the ground and can be removed daily or seasonally. Their scale and transitory nature are comparable to furniture commonly used under exempted outdoor café provisions.

### Context and Impact

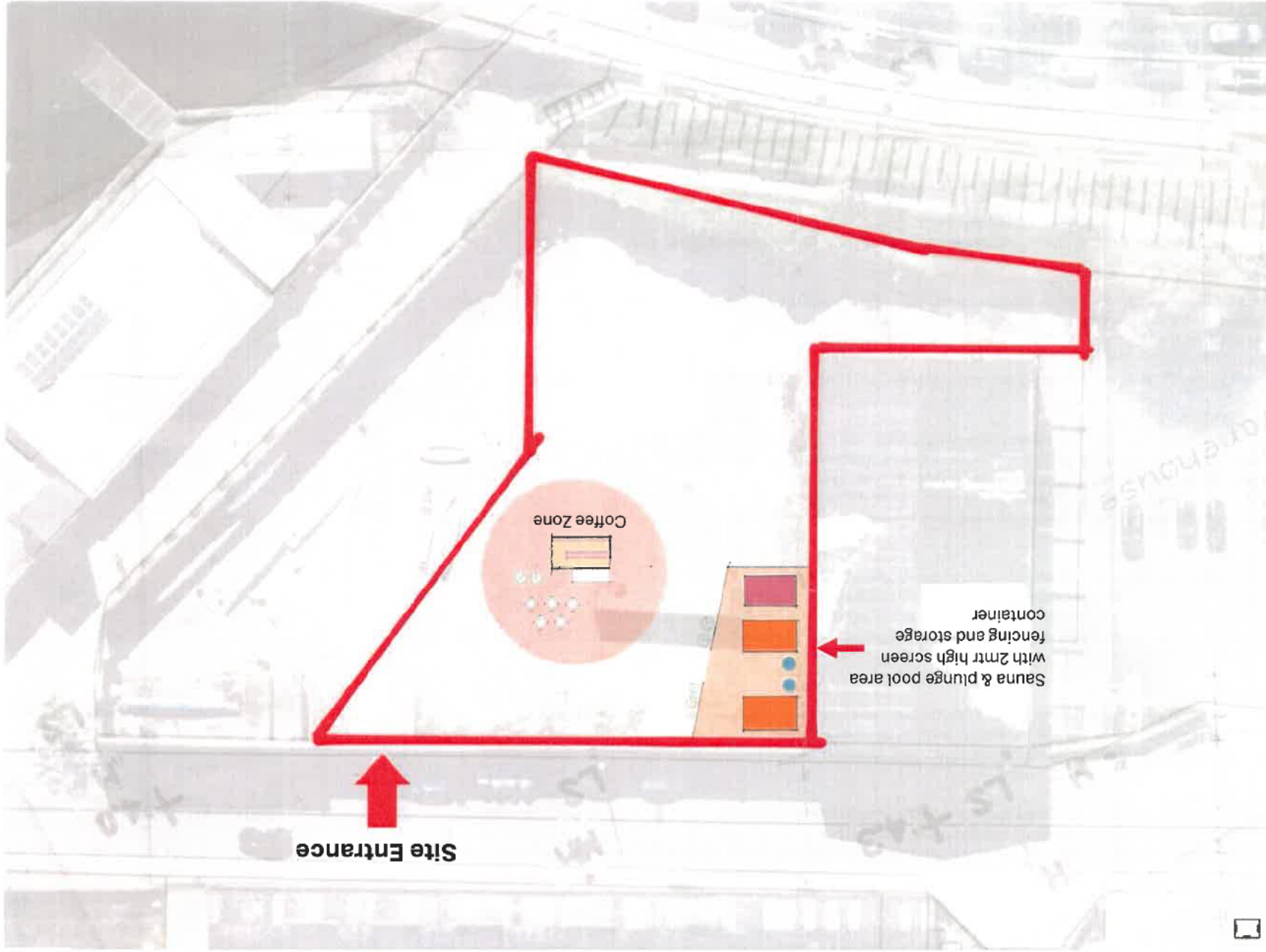
The entire activity occurs within an enclosed commercial environment and is not visible from public roads, riverside paths, or residential areas. The yard has historically accommodated industrial and storage uses, and the proposed wellness and coffee offer represents a compatible, low-intensity continuation of commercial activity. There is no alteration to any building façade, boundary wall, or surface.

### Conclusion – Basis for Exemption

The proposal involves no “works” as defined under the Planning and Development Act 2000 (as amended): there are no foundations, structural modifications, or service installations that would constitute building operations. Each component is movable, small in scale, and reversible. The placement of such prefabricated units within an existing enclosed yard, with no visual impact on the public realm and no permanent change of use of buildings or land, falls within the character of development that may be regarded as exempted development.







## EXAMPLE OF PREFABRICATED COFFEE UNIT





Comhairle Cathrach  
& Contae **Luimnigh**

**Limerick City**  
& County Council

**Report on application under Section 5 of the Planning and Development  
Act 2000 (as amended)**

<b>File Reference number</b>	EC.227-25
<b>Applicant</b>	David Ryan
<b>Location</b>	Cleeves, O'Callaghan Strand, Co. Limerick

**1.0 Description of Site and Surroundings:**

The application site is located within an unused enclosed yard situated adjacent St. Michaels Rowing Club. The application site is accessed from North Circular Road.

**2.0 Proposal:**

This is an application requesting a Section 5 Declaration on whether the following works are or are not development or are or not exempted development:

- Placement of a pop-up Sauna, Plunge Pool and Mobile Coffee Kiosk within Enclosed Yard (adjacent to St. Michael's Rowing Club / former Cleeves facility, Limerick)

This Section 5 declaration includes the following:

- Application Form
- Site location map
- Site layout plan
- Plans
- Elevations
- Sections

**3.0 Planning History:**

Pl. Ref 03770382 - Golden Vale Dairies Ltd., Refused permission for the erection of a new 6m x 3m Golden Vale Dairies Ltd. advertising signboard on west gable of existing warehouse at Golden Vale Dairies Ltd., Lansdowne, Limerick.

**3.1 Enforcement History**

None

**4.0 Relevant An Bord Pleanála referrals**

N/A

## **5.0 Assessment**

Consideration as to whether a development constitutes exempted development or not is governed by Sections 4 and 5 of the Planning and Development Act 2000 (as amended) and Articles 5, 6, 7, 8, 9, 10 and 11 of the Planning and Development Regulations 2001 (as amended).

### **5.1 Is the proposal development?**

**Section 2(1)** in this Act, except where otherwise requires –

‘works’ includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal.

‘**structure**’ as any building, structure, excavation, or other thing constructed or made on, in or under any land, or part of a structure so defined, and –

(a) Where the context so admits, includes the land on, in or under which the structure is situated.

**Section 3(1)** defines ‘**development**’ as ‘the carrying out of any works on, in, over or under land or the making of any material change in the use of any structures or other land’.

The proposed development on site, comprising placement of a pop-up Sauna, Plunge Pool and Mobile Coffee Kiosk within Enclosed Yard (adjacent to St. Michael’s Rowing Club / former Cleeves facility, Limerick) constitutes ‘works’ and ‘development’.

### **5.2 Is the proposal exempted development?**

The proposed development consists of the placement of a prefabricated cabin or trailer-type unit, to be used as a coffee kiosk. The proposal also consists of the placement of a pop-up sauna and plunge pool as well as a seating area consisting of free-standing café-style tables with removable parasols within the enclosed yard behind St. Michaels Rowing Club. The proposed development constitutes work and development and does not come under any of the exemptions under the Planning and Development Regulations 2001 (as amended).

The applicant states that the coffee kiosk is a lightweight prefabricated cabin or trailer unit, typically 3-4 metres in length, constructed from insulated timber or aluminium panels. It is to be delivered to site by vehicle and positioned on level ground using adjustable jacks or small pads. The applicant states that the kiosk is wholly reversible and removal leaves the surface unaltered. The applicant has not provided any detailed elevation drawings of the proposed coffee kiosk, pop-up sauna or plunge pool and therefore it is not possible to make an assessment of how the proposal will not leave the surface unaltered. Despite the applicant stating that the kiosk will be reversible, the structure will be a fixed structure and therefore would not be considered exempted development.

It is considered that the proposal would constitute ‘works’ and development and therefore permission would be required.

## **6.0 Article 9 Restrictions**

The proposed development is not restricted by any of the restrictions in Article 9 of the Planning and Development Regulations 2001 (as amended).

## **7.0 Appropriate Assessment**

Having regard to the nature and scale of the proposed development and the absence of proximity or connectivity to a Natura 2000 European Site, no Appropriate Assessment issues arise and it is not considered that the proposed development would be likely to have a significant effect individually or in combination with other plans or projects, on a European Site. An appropriate assessment screening report and determination is attached to this report.

## **8.0 Environmental Impact Assessment**

Having regard to the nature, size and location of the proposed development and to the criteria set out in Schedule 7 of the Regulations it has been concluded at preliminary examination that there is no real likelihood of significant effects on the environment arising from the proposed development. EIA, therefore, is not required.


## **9.0 Recommendation/Conclusion**

The proposed development detailed on the application and plans submitted is not considered to be within the scope any exempted development provisions under section 4 of the Planning and Development Act 2000 (as amended) or Article 6 of the Planning and Development Regulations 2001 (as amended).

Regard has been had to –

- (a) Section 2, 3 and 4 of the Planning and Development Act 2000 (as amended)
- (b) Part 1 of Schedule 2 of the Planning and Development Regulations 2001 (as amended)
- (c) The plans & particulars submitted with the application received on 30<sup>th</sup> of October 2025.

It is therefore considered that the said works are development and not exempted development under the Planning and Development Regulations 2001 (as amended) and the Planning and Development Act 2000 (as amended).

<b>Executive Planner</b>	Ella O'Brien	<b>Date:</b> 18/11/2025
<b>Signature:</b>		
<b>Senior Executive Planner</b>	Grainne O'Keeffe	<b>Date:</b> 21/11/2025
<b>Signature</b>		



## Appendix 1: AA PN01 Screening Form

STEP 1: Description of the project/proposal and local site characteristics:	
(a) File Reference No:	EC.227.25
(b) Brief description of the project or plan:	A section 5 application requesting a declaration on whether the Placement of a pop-up Sauna, Plunge Pool and Mobile Coffee Kiosk within Enclosed Yard.
(c) Brief description of site characteristics:	Existing disused yard access from the North Circular Road, within Limerick City Centre
(d) Relevant prescribed bodies consulted: e.g. DHLGH (NPWS), EPA, OPW	N/A
(e) Response to consultation:	N/A

STEP 2: Identification of relevant Natura 2000 sites using Source-Pathway-Receptor model and compilation of information on Qualifying Interests and conservation objectives.				
European Site (code)	List of Qualifying Interest/Special Conservation Interest <sup>1</sup>	Distance from proposed development <sup>2</sup> (km)	Connections (Source-Pathway-Receptors)	Considered further in screening Y/N
002165- Lower River Shannon SAC	<a href="https://www.npws.ie/protected-sites/sac/002165">https://www.npws.ie/protected-sites/sac/002165</a>	Approx 47m	None	N
004077-River Shannon and River Fergus Estuaries SPA	<a href="https://www.npws.ie/protected-sites/sac/004077">https://www.npws.ie/protected-sites/sac/004077</a>	Approx. 61km	None	N

STEP 3: Assessment of Likely Significant Effects	
(a) Identify all potential direct and indirect impacts that may have an effect on the conservation objectives of a European site, taking into account the size and scale of the project under the following headings:	
Impacts:	Possible Significance of Impacts: (duration/Magnitude etc)
<b>Construction phase e.g</b> <ul style="list-style-type: none"> <li>- Vegetation clearance</li> <li>- Demolition</li> <li>- Surface water runoff from soil excavation/infill/landscaping (including borrow pits)</li> <li>- Dust, noise, vibration</li> <li>- Lighting disturbance</li> <li>- Impact on groundwater/dewatering</li> </ul>	None. Works are minimal in nature and there is no hydrological connection or direct encroachment on the SAC and SPA due to separation distance.

<ul style="list-style-type: none"> <li>- Storage of excavated/construction materials</li> <li>- Access to site</li> <li>- Pests</li> </ul>	
<b>Operation phase e.g.</b> <ul style="list-style-type: none"> <li>- Direct emission to air and water</li> <li>- Surface water runoff containing contaminant or sediment</li> <li>- Lighting disturbance</li> <li>- Noise/vibration</li> <li>- Changes to water/groundwater due to drainage or abstraction</li> <li>- Presence of people, vehicles and activities</li> <li>- Physical presence of structures (e.g. collision risk)</li> <li>- Potential for accidents or incidents</li> </ul>	None. Works are minimal in nature and there is no hydrological connection or direct encroachment on the SAC and SPA due to separation distance.
<b>In-combination/Other</b>	N/A

<b>(b) Describe any likely changes to the European site:</b>	
<p>Examples of the type of changes to give consideration to include:</p> <ul style="list-style-type: none"> <li>- Reduction or fragmentation of habitat area</li> <li>- Disturbance to QI species</li> <li>- Habitat or species fragmentation</li> <li>- Reduction or fragmentation in species density</li> <li>- Changes in key indicators of conservation status value (water or air quality etc)</li> <li>- Changes to areas of sensitivity or threats to QI</li> <li>- Interference with the key relationships that define the structure or ecological function of the site</li> </ul>	None. Works are minimal in nature and there is no hydrological connection or direct encroachment on the SAC and SPA due to separation distance.

<b>(c) (Are 'mitigation' measures necessary to reach a conclusion that likely significant effects can be ruled out at screening?)</b>	
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No


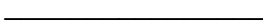
<b>STEP 4: Screening Determination Statement</b>
<p><b>The assessment of significance of effects:</b></p> <p>Describe how the proposed development (alone or in-combination is/is not likely to have significant effects on European site (s) in view of its conservation objectives</p>

On the basis of the information submitted, which is considered adequate to undertake a screening determination and having regard to:

- the nature and scale of the proposed development,
- the intervening land uses and distance from European sites,
- the lack of direct connections with regard to the Source-Pathway-Receptor model,

it is concluded that the proposed development, individually or in-combination with other plans or projects, would not be likely to have a significant effect on the above listed European sites or any other European site, in view of the said sites' conservation objectives.

**Conclusion:** An appropriate assessment is not required.


	Tick as appropriate:	Recommendation:
(i) It is clear that there <b>is no likelihood</b> of significant effects on a European Site	<input checked="" type="checkbox"/>	The proposal can be screened out: Appropriate Assessment not required.
(ii) It is <b>uncertain</b> whether the proposal will have a significant effect on a European Site	<input type="checkbox"/>	<input type="checkbox"/> Request further information to complete screening  <input type="checkbox"/> Request NIS  <input type="checkbox"/> Refuse planning permission
(iii) <b>Significant effects</b> are likely	<input type="checkbox"/>	<input type="checkbox"/> Request NIS  <input type="checkbox"/> Refuse planning permission
<b>Signature and Date of Recommending Officer:</b>	 Ella O'Brien, Executive Planner 11/11/2025	
<b>Signature and Date of the Decision Maker:</b>	 Grainne O'Keeffe Senior Executive Planner 21/11/2025	



## Appendix 2: EIA Screening

Establishing if the proposal is a 'sub-threshold development':		
Planning Register Reference:	EC.227.25	
Development Summary:	A section 5 application requesting a declaration on whether the Placement of a pop-up Sauna, Plunge Pool and Mobile Coffee Kiosk within Enclosed Yard.	
Was a Screening Determination carried out under Section 176A-C?	<input type="checkbox"/> Yes. no further action required <input checked="" type="checkbox"/> No. Proceed to <b>Part A</b>	
<b>A. Schedule 5 Part 1</b> - Does the development comprise a project listed in Schedule 5, Part 1. of the Planning and Development Regulations 2001 (as amended)? (Tick as appropriate)		
<input type="checkbox"/>	Yes. specify class: [insert here] _	<b>EIA is mandatory</b>  No Screening required
<input checked="" type="checkbox"/>	No	Proceed to <b>Part B</b>
<b>B. Schedule 5 Part 2</b> - Does the development comprise a project listed in Schedule 5, Part 2, of the Planning and Development Regulations 2001 (as amended) <b>and</b> does it meet/exceed the thresholds? (Tick as appropriate)		
<input checked="" type="checkbox"/>	No. the development is not a project listed in Schedule 5, Part 2	<b>No Screening required</b>
<input type="checkbox"/>	Yes the project is listed in Schedule 5, Part 2 <b>and</b> meets/exceeds the threshold, specify class (including threshold): _[specify class & threshold here]_	<b>EIA is mandatory</b>  No Screening required
<input type="checkbox"/>	Yes the project is of a type listed <b>but</b> is <i>sub-threshold</i> : [insert here] _	Proceed to <b>Part C</b>
<b>c. If Yes</b> , has Schedule 7A information/screening report been submitted?		
<input type="checkbox"/>	Yes, Schedule 7A information/screening report has been submitted by the applicant	<b>Screening Determination required</b>
<input type="checkbox"/>	No, Schedule 7A information/screening report has not been submitted by the applicant	

	<b>Preliminary Examination required</b>
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<b>Signature and Date of Recommending Officer:</b>	 <hr/> Ella O'Brien, Executive Planner 18/11/2025
<b>Signature and Date of the Decision Maker:</b>	<hr/> Grainne O'Keeffe Senior Executive Planner 21/11/2025

### Appendix 3:

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Comhairle Cathrach  
& Contae Luimnigh  
**Limerick City  
& County Council**

Pleanáil, agus Cruthú Áite  
Comhairle Cathrach agus Contae Luimnigh  
Bothar Thuar an Dail  
Tuar an Dail, Luimneach  
V94 WV78

Planning and Place-Making  
Limerick City and County Council  
Dooradoyle Road  
Dooradoyle, Limerick  
V94 WV78

## PLANNING & PLACE-MAKING

### REG POST:

**David Ryan,  
Suam,  
Iona Drive,  
North Circular Road,  
Limerick.**

**EC/227/25**

24 November 2025

**Re: Declaration under Section 5**

---

Dear Sir/Madam,

I refer to the above application for Section 5 Declaration on Development and Exempted Development.

Please find herewith a copy of Council's decision on same.

Yours faithfully,

  
**(for) Senior Planner,  
Development Management**

Tuar an Dail, Luimneach  
Dooradoyle, Limerick

customerservices@limerick.ie  
www.limerick.ie  
@LimerickCouncil  
061 - 556 000

**LIMERICK CITY & COUNTY COUNCIL**

**APPROVED OFFICER'S ORDER**

**SECTION 5 – DECLARATION ON DEVELOPMENT AND EXEMPTED DEVELOPMENT**

**No. AOO/DC/2025/1311**

**File Ref No. EC/227/25**

**SUBJECT:** Declaration under Section 5.  
Planning and Development Act 2000 as amended  
Planning and Development Regulations 2001 as amended

**RE:** A placement of a pop-up Sauna, Plunge Pool and Mobile Coffee Kiosk at Cleeves,  
O'Callaghan Strand, Co. Limerick

**ORDER:** Whereas by Director General's Order No. DG/2024/141 dated 07<sup>th</sup> October 2025, Dr. Pat Daly, Director General, Limerick City & County Council did, pursuant to the powers conferred on him by Section 154 of the Local Government Act, 2001, (as amended by the Local Government Reform Act, 2014 and the Local Government (Mayor of Limerick) and Miscellaneous Provisions Act, 2024), delegate unto Grainne O'Keeffe, Senior Executive Planner the functions as defined in the Local Government Acts, 1925 to 2024.

Now therefore pursuant to the delegation of the functions aforesaid, I, Grainne O'Keeffe, Senior Executive Planner, having considered the report and recommendation of Ella O'Brien, Executive Planner dated 18/11/2025, hereby order that a Declaration under Section 5 of the Planning and Development Act 2000 (as amended) be issued to David Ryan, Suam, Iona Drive, North Circular Road, Limerick to state that the works as described above is

**Development and is NOT Exempt Development.**

Signed

  
\_\_\_\_\_

SENIOR EXECUTIVE PLANNER, PLANNING & PLACE-MAKING

Date

24/11/25

Certified to be a true copy of Approved Officer's Order, Planning & Development Order No. AOO/DC/2025/1311 dated 24/11/25, pursuant to Section 151(7) of the Local Government Act 2001

Signed:

  
\_\_\_\_\_

SENIOR EXECUTIVE PLANNER, PLANNING & PLACE-MAKING



Comhairle Cathrach  
& Contae Luimnigh

Limerick City  
& County Council

Pleanáil, agus Cruthú Áite  
Comhairle Cathrach agus Contae Luimnigh  
Bothar Thuar an Daill  
Tuar an Daill, Luimneach  
V94 WV78

Planning and Place-Making  
Limerick City and County Council  
Dooradoyle Road  
Dooradoyle, Limerick  
V94 WV78

## **SECTION 5 – DECLARATION ON DEVELOPMENT AND EXEMPTED DEVELOPMENT**

**DECLARATION NO.**

**EC/227/25**

**Name and Address of Applicant:** David Ryan, Suam, Iona Drive, North Circular Road, Limerick.

**Agent:** N/A

**Whether** the placement of a pop-up Sauna, Plunge Pool and Mobile Coffee Kiosk at Cleeves, O'Callaghan Strand, Co. Limerick is or is not Development or is or is not Exempted Development. The works as described on the plans submitted with the application on the 30<sup>th</sup> of October 2025.

**AND WHEREAS** the Planning Authority has concluded that the placement of a pop-up Sauna, Plunge Pool and Mobile Coffee Kiosk at Cleeves, O'Callaghan Strand, Co. Limerick **DOES NOT** come within the scope of exempted development under the Planning and Development Regulations 2001 (as amended) and the Planning and Development Act 2000 (as amended). See Report attached.

**NOW THEREFORE** the Planning Authority in exercise of the powers conferred on it by Section 5(2) (a) of the Planning and Development Act 2000 (as amended) hereby decides that the said development as described above is **Development and is NOT Exempt Development**.

Signed on behalf of the said Council 

Date: 24.11.2025

**NOTE:** A Declaration on Development or Exemption issued by Limerick City & County Council may be referred to An Coimisiún Pleanála on payment of €220 for review within 4 weeks after the issuing of the declaration.