

F7



Limerick City & County  
Council

10 OCT 2025

Planning

LIMERICK CITY & COUNTY COUNCIL

PLANNING AND ENVIRONMENTAL SERVICES

SECTION 5 APPLICATION

**DECLARATION ON DEVELOPMENT AND EXEMPTED DEVELOPMENT**

Applicant's Name:

MRS ANNE SHEEHAN

Applicant's Address:

90 Hilltop.

St Patricks Road

Limerick. V94 TFK2

Telephone No.



Name of Agent (if any):

N/A.

Address:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Telephone No. \_\_\_\_\_

Address for Correspondence:

90 Hilltop, St Patricks Road, Limerick.

\_\_\_\_\_  
\_\_\_\_\_

Location of Proposed development:

90 Hilltop.  
St Patricks Road  
Limerick. V94 TFK2

Description of Proposed development:

Proposed Single Storey Extension to Rear of  
Existing Dwelling incorporating a Bedroom and  
A Disabled Bathroom.

Is this a Protected Structure or within the curtilage of a Protected Structure.  
YES/NO

Applicant's interest in site: Owner

List of plans, drawings, etc. submitted with this application:

Site Location Map  
Draw No: 5172-01 Site Layout Plan A4 Scale 1:200.  
Draw No: 5172-02 Plan, Elevation & Section A1 Scale 1:50/100.

Have any previous extensions/structures been erected at this location YES/NO

If Yes please provide floor areas of all existing structures:

Garden shed to rear of property  
Area: 20-26 sqm.  
Height 3.1m.  
Exempt Development

Signature of Applicant (or Agent) Anne Sheehan 3/10/2025

**NOTES:** Application must be accompanied by:

- (a) Fee of €80 ✓
- (b) Site location map ✓
- (c) Site layout plan ✓
- (d) Dimensioned plans and elevations of the structure and any existing structures. ✓
- (e) Where the declaration is in respect of a farm building, a layout identifying the use of each existing building together with floor area of each building. ✓

\*\*\*\*\*

Application to be forwarded to:

Limerick City & County Council,  
Planning and Environmental Services,  
City & County Council Offices,  
Dooradoyle Road,  
Limerick.

\*\*\*\*\*

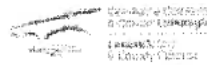
**OFFICE USE ONLY**

Ref. No. \_\_\_\_\_ Date Received \_\_\_\_\_

Fee Received \_\_\_\_\_ Date Due \_\_\_\_\_

\*\*\*\*\*





**LIMERICK CITY & COUNTY COUNCIL  
CASH OFFICE  
CIVIC OFFICES  
DOORADOYLE  
CO LIMERICK**

**10/10/2025 09:31:06**

**Receipt No.: LA25/25192155**

**Customer Address:**

**MRS ANNE SHEEHAN**

**80 HILLTOP**

**ST PATRICKS ROAD**

**LIMERICK**

Code	Ref	Amount	VAT
	EXEMPTION		
PL041	CERTIFICATE	80.00 EUR	0.00 EUR
	S		

**Paid with: CASH**

**Subtotal: 80.00 EUR**

**Tax (VAT): 0.00 EUR**

**Total: 80.00 EUR**

**Tendered: 80.00 EUR**

**From: CASH OFFICE HQ**

**VAT Reg No: 3267368TH**

**Please retain this receipt for your records**

Please do not reply to this email



Limerick City & County Council,  
Planning Department,  
Dooradoyle Road,  
Limerick.

Bart & Elizabeth Walsh  
91 Hilltop,  
St Patricks Road,  
Limerick.

Date: 03.10.2025

Re: Proposed flat roof single storey extension to the rear of No 90 Hilltop,  
St Patricks Road, Limerick

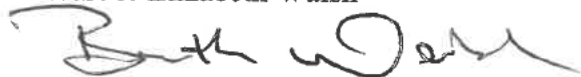
Dear Sir/ Madam,

We Bart & Elizabeth O Connor the owner of No 91 Hilltop, St Patricks Road have reviewed the drawing for the proposed extension at No 90 Hilltop for my neighbour Anne Sheehan and have no objection to this extension.

Yours sincerely



Bart & Elizabeth Walsh



# Land Registry Compliant Map



**Tailte  
Éireann**

**CENTRE  
COORDINATES:**  
ITM 559453,656757

**PUBLISHED:** 03/10/2025  
**ORDER NO.:** 50494382\_1

**MAP SERIES:** 1:1,000  
**MAP SHEETS:** 4743-05

**COMPILED AND PUBLISHED BY:**  
Tailte Éireann,  
Phoenix Park,  
Dublin 8,  
Ireland.  
D08F6E4

[www.tailte.ie](http://www.tailte.ie)

Any unauthorised reproduction  
infringes Tailte Éireann copyright.

No part of this publication may  
be copied, reproduced or transmitted  
in any form or by any means without  
the prior written permission of the  
copyright owner.

The representation on this map  
of a road, track or footpath  
is not evidence of the existence  
of a right of way.

This topographic map  
does not show  
legal property boundaries,  
nor does it show  
ownership of physical features.

©Tailte Éireann, 2025.  
All rights reserved.



1.83

0.57

HILLTOP

S a i n g e a n  
Hilltop  
An Mullach

HILLTOP  
Garryowen  
Garrai Eoin

HILLTOP

HILLTOP

0 10 20 30 40  
Metres

0 20 40 60 80 100  
Feet

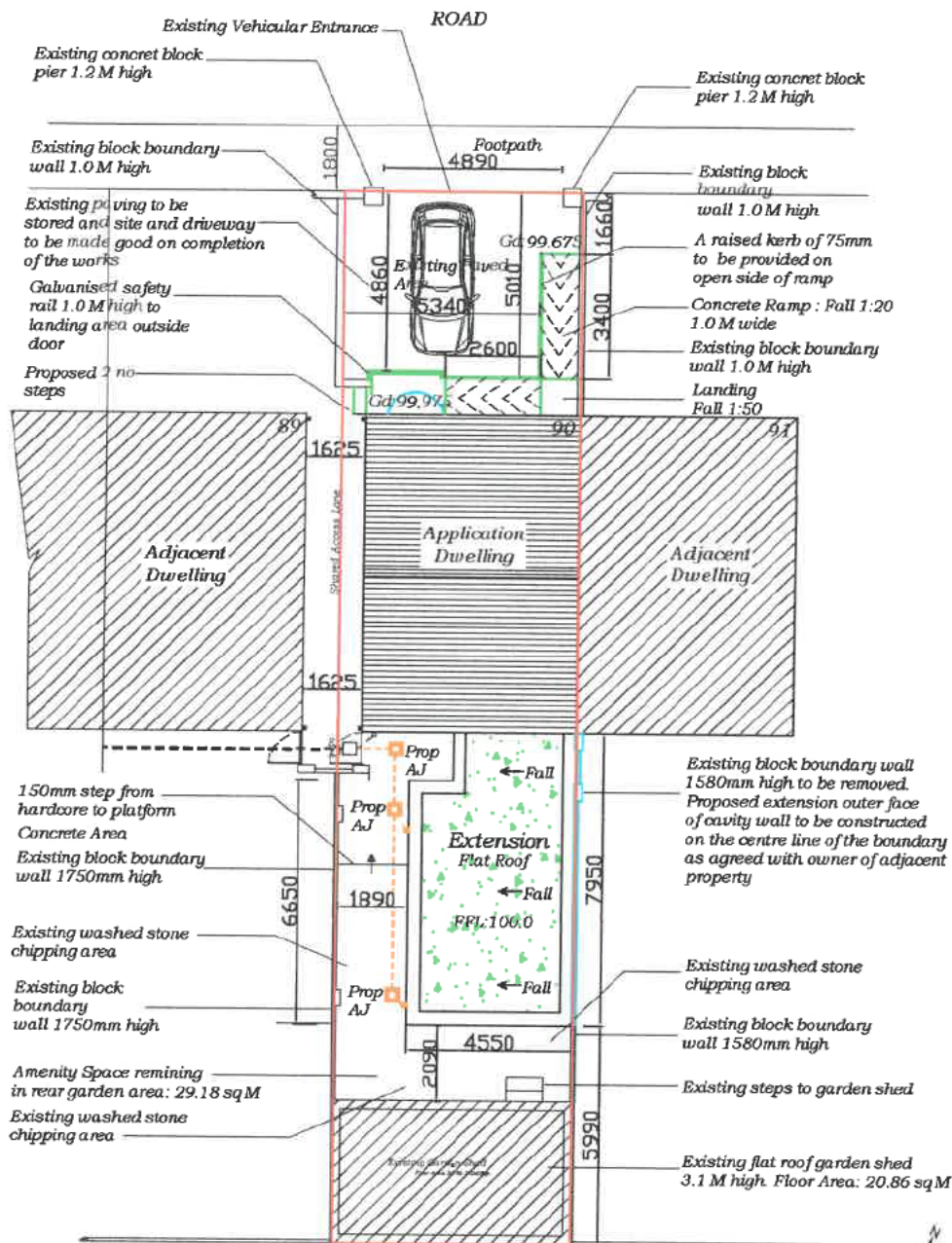
OUTPUT SCALE: 1:1,000

## CAPTURE RESOLUTION:

The map objects are only accurate to the  
resolution at which they were captured.  
Output scale is not indicative of data capture scale.  
Further information is available at:  
[www.tailte.ie](http://www.tailte.ie) search 'Capture Resolution'

## LEGEND:

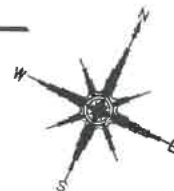
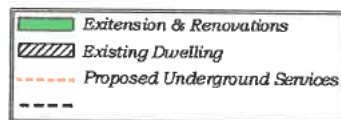
To view the legend visit  
[www.tailte.ie](http://www.tailte.ie) and search for  
'Large Scale Legend'



### Site Layout Plan

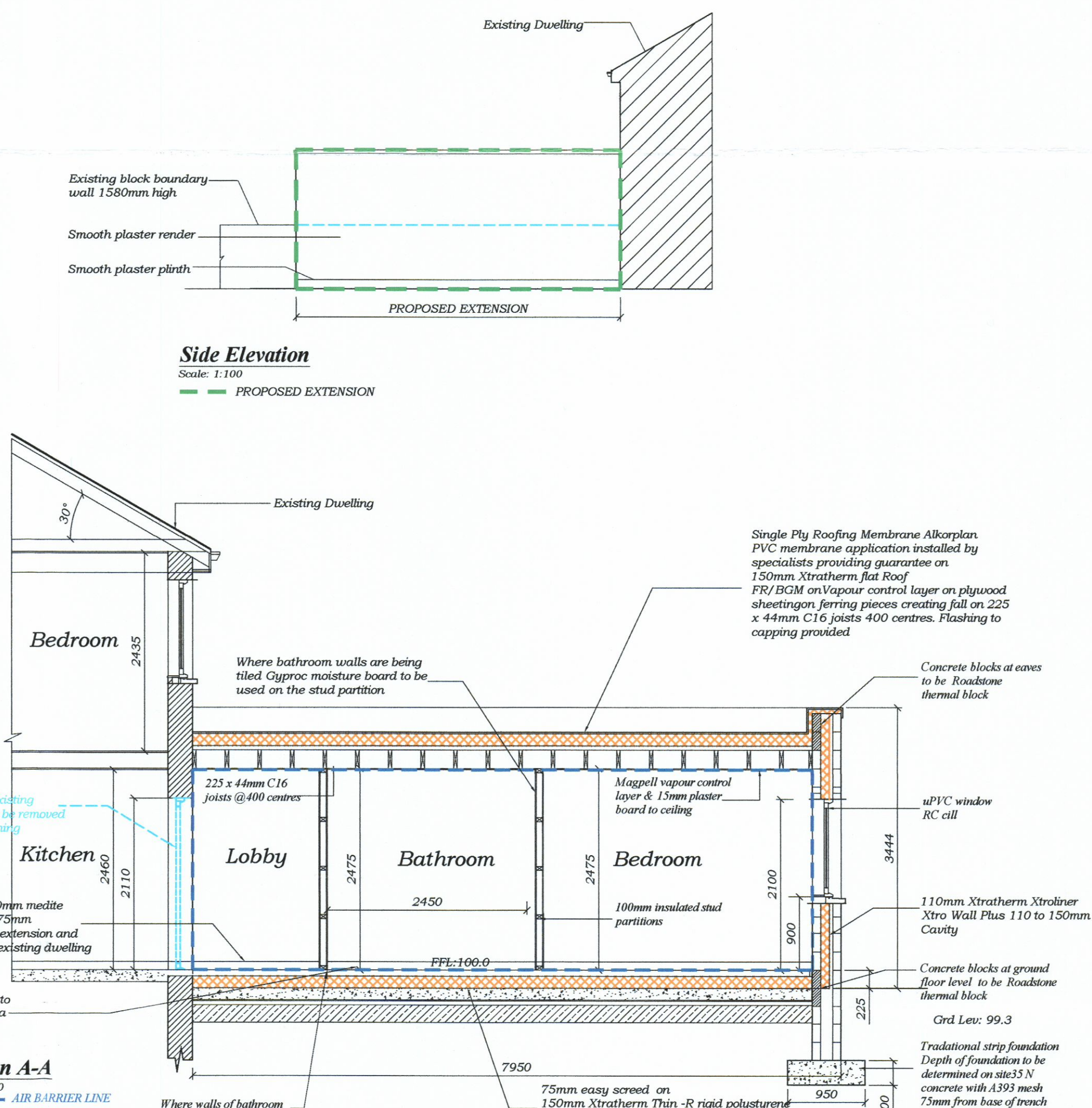
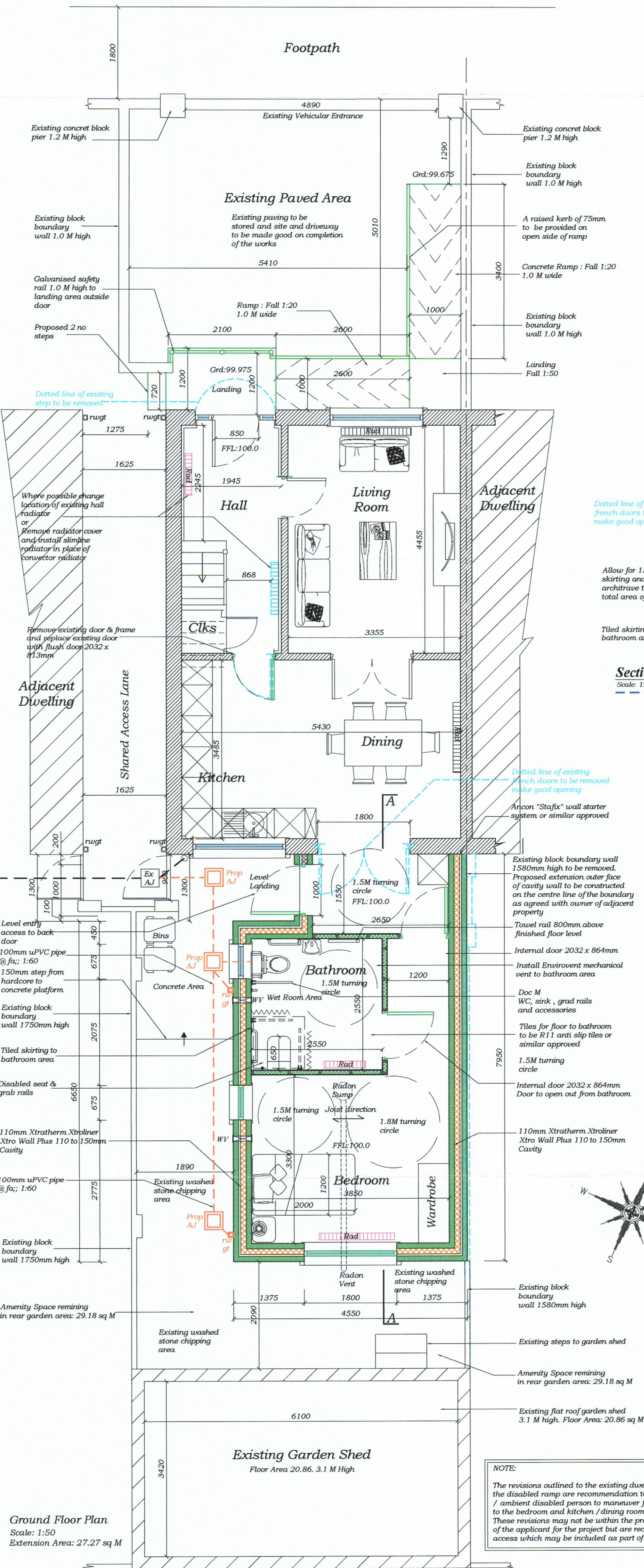
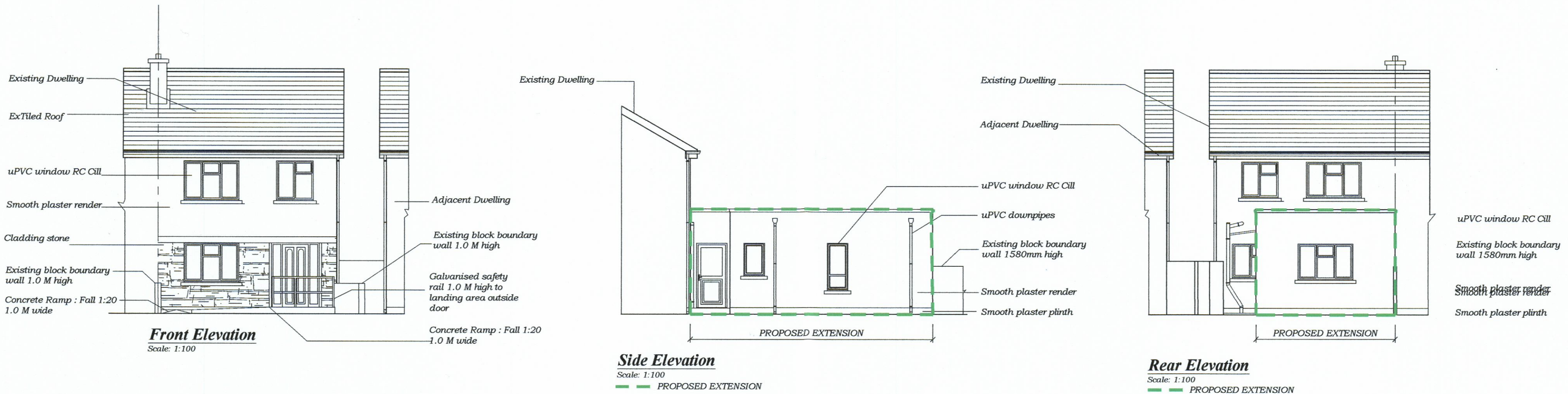
Scale: 1:200

Site Area: 0.0186 Ha.



<b>PROPOSED EXTENSION</b>		<b>Date:</b> OCT 2025	<b>Job no:</b> 5172
<b>Job: PROPOSED EXTENSION</b> 90 HILLTOP, ST PATRICKS ROAD, LIMERICK.		<b>Drawn by:</b> J.O.S	<b>Sheet:</b> 01
<b>Client: MS ANNE SHEEHAN</b> <b>Desp: SITE LAYOUT PLAN</b>		<b>Scale:</b> 1:200	<b>Rev:</b>





**FLAT ROOF**  
Single Ply Roofing Membrane Mapeplan PVC membrane flat roof application or Fibreglass flat roof application installed by specialists providing guarantee / warranty. Client to advise on roof type required on 150mm Unilin flat roof FR/BGM on Vapour control layer on plywood sheathing on furring pieces creating fall on C16 225 x 44mm joists @ 400 centres. 15mm plasterboard to ceiling.

**EXTERNAL WALLS**  
Cavity Wall Construction to new build. Consisting of 100mm Block Wall Outer Leaf, 150mm Cavity and 100/215mm block inner leaf. 110mm Unilin Xtratherm wall Plus 110 cavity insulation. Held To 100 / 215mm inner Leaf With Stainless Steel Wallties Which Are Supplied With The Insulation Panels @ 450mm c/c Vertically and 750mm Horizontally. 2no Wallties at every block course at all openings in ext walls. Cavity To Be Kept Clean And Protected From Rain. During Construction All Debris To Be Removed Before Closing Cavity Must Be Closed At All Door And Window Openings. Precast Concrete Lintels To Open Under 900mm. Open Over 1200mm To Be Steelite / Catnic Lintels or steel beams as e/specified. Two Coats Sand Cement To Inner Leaf With Hardwall Skim Finish to internal walls. Precast Concrete Bulbous Cills To All Window Openings. Cavity Tray Extends 150mm Beyond The End Of Openings. Cavity Tray DPC Above Head And Under Cills. Vents To All Habitable Rooms With adjustable grill. Location Of Vents To Be Agreed With Architect On Site. Provide Expansion Joint In Blockwork At 7.0 M Centres.

**TIMBER WORKS**  
All timber work shall be in accordance with BS 5628. All Timber Work Shall Be Grade SCB To SR11 Maximum Moisture Content Shall Be 15% ISO Metric Bolt, Nuts & Washers To BS4100 Grade 4.6. Anchorage Straps Shall Be Galvanised M30 x 5 @ 2.0 M c/c. Nogginngs Shall Be Installed @ 1.5m c/c.

**FOUNDATION - To Engineers Detail**  
Builder to include for reinforced conc strip foundation to external walls to comply with specification. Foundation To Engineers Detail. Reinforced strip foundation to internal walls. Foundation to be laid to such depth to suit soil conditions and to ensure adequate natural soil bearing. Engineer to inspect foundation trenches when excavated to determine if reinforced strip foundations are adequate. A393 steel mesh to be installed to all footings with full overlap at all joints. Steel to be installed 75mm above base of trench.

**GROUND FLOOR SLAB**  
75mm concrete screed on 150mm Xtratherm Thin R insulation on 150mm Concrete Subfloor On Radon Barrier & Sumps To Manufacturers Specifications Min 75mm Sand Blinding On 225mm consolidated gas permeable hardcore to SR 20 25mm insulation to turn up at external side of concrete slab with insulation to finish at skirting. DPM to lap under DPC for full thickness of inner leaf.

**Note:**  
SIGA Mappell vapour control sheeting layer to be installed to first floor timber studing and ceilings throughout to achieve airtightness requirements.  
SIGA Fenitrim IS2 tapes to be applied to all external window door surrounds to achieve airtightness requirements.

NEW BUILDINGS - TGD Part L 2019

U-Value	
Windows, doors & rooflights should have maximum U-value of 1.2 W/m <sup>2</sup> K and maximum opening area of 25% of floor area. However areas and U-Values may be varied. The U-Value includes the effect of unheated voids or other spaces.	
Minimum U-Values In Part L Of The Building Regulations 2019 - New build	
Roofs	
Insulation At Ceiling	0.16
Insulation On Slope	0.16
Flat Roof	0.20
External Walls	0.18
Ground Floor: Underfloor Heating	0.15
Other Exposed Floors	0.18
External Doors, Windows & Rooflights	1.20

**CEILING**  
175 x 44 mm C16 ceiling joists at 400mm centres with continuous rows of solid bridging at 150mm centres. Joists shall be tied to wall with Bat 305 or similar approved straps @ 2.0m centres with noggings pieces at least half the depth of joists under straps. Gap between wall and adjacent joists shall be packed with packer pieces. Joist hangers to be used throughout. 15mm plasterboard to all ceiling throughout. Aluminium joist hangers to be used throughout.

**Heating System:**  
Extend existing GAS fired heating system to extended area. Include for 3 No radiators.

**DISABLED ACCESS INTERNALLY**  
Minimum clear width of doors to be 800mm off a corridor 1000mm min width on ground floor. The maximum height of the saddle board to be 10mm max with bevelled edges. All light switches to be between 900mm & 1200mm.

**WINDOWS & DOORS**  
Note: All bedrooms to have a min open sash of 850 x 500 mm and window board to be between 800 to 1100mm from F.F.L.  
A rated uPVC Double / triple Glazing Windows with low e-coated glazing argon filled throughout. U Value 1.2 w/m<sup>2</sup>K

**Note: Ventilation - Natural**  
In accordance with the Building Regulations TGD Part F wall vent to be installed 6500 sq mm to all habitable rooms. Rapid ventilation to be one twentieth of the floor area of the room. All window units to be fitted with trickle vents throughout.

**INTERNAL WALLS**  
Studs: 100 x 75mm insulated stud partitions, stud head, sole plates, and noggings faced with 12.5mm plasterboard and plaster skim finish. 100mm Isover insulation to studs. Include for 150mm medite skirtings and 100mm architrave pre-painted throughout.

**BATHROOM & SANITARY ACCOMMODATION**  
Rapid ventilation to be one twentieth of the floor area. Provide 10mm air gap under door for air supply. A mechanical vent at a ratio 16 litres per second.

**ALL OTHER HABITABLE ROOMS**  
Permanent to be 6500 sq mm. Rapid ventilation to be one twentieth of the floor area of the room.

**ALL OTHER HABITABLE ROOMS**  
Permanent to be 6500 sq mm. Rapid ventilation to be one twentieth of the floor area of the room.

**ALL OTHER HABITABLE ROOMS**  
Permanent to be 6500 sq mm. Rapid ventilation to be one twentieth of the floor area of the room.

**ALL OTHER HABITABLE ROOMS**  
Permanent to be 6500 sq mm. Rapid ventilation to be one twentieth of the floor area of the room.

**ALL OTHER HABITABLE ROOMS**  
Permanent to be 6500 sq mm. Rapid ventilation to be one twentieth of the floor area of the room.

**ALL OTHER HABITABLE ROOMS**  
Permanent to be 6500 sq mm. Rapid ventilation to be one twentieth of the floor area of the room.

**ALL OTHER HABITABLE ROOMS**  
Permanent to be 6500 sq mm. Rapid ventilation to be one twentieth of the floor area of the room.

**ALL OTHER HABITABLE ROOMS**  
Permanent to be 6500 sq mm. Rapid ventilation to be one twentieth of the floor area of the room.

**ALL OTHER HABITABLE ROOMS**  
Permanent to be 6500 sq mm. Rapid ventilation to be one twentieth of the floor area of the room.

PROPOSED EXTENSION	Date: OCT 2025	Job no: 5172
Job: PROPOSED EXTENSION 90 HILLTOP, ST PATRICKS ROAD, LIMERICK.	Drawn by: J.O.S	Sheet: 02
Client: MS ANNE SHEEHAN	Scale: 1:100 1:50	Rev:
Desp: PLAN, ELEVATIONS & SECTIONS		





Comhairle Cathrach  
& Contae **Luimnigh**

**Limerick City  
& County Council**

**Report on application under Section 5 of the Planning and Development  
Act 2000 (as amended)**

<b>File Reference number</b>	EC.209-25
<b>Applicant</b>	Mrs. Anne Sheehan
<b>Location</b>	90 Hilltop, St. Patricks Road, Limerick V94 TFK2

**1.0 Description of Site and Surroundings:**

The application site is a two storey semi-detached dwellinghouse located in an established residential estate called Hilltop accessed from St. Patricks Road.

**2.0 Proposal:**

This is an application requesting a Section 5 Declaration on whether the following works are or are not development or are or not exempted development:

- Proposed single storey extension to rear of existing dwelling incorporating a bedroom and disabled bathroom.

This Section 5 declaration includes the following:

- Application Form
- Site location map
- Site layout plan
- Plans
- Elevations
- Sections

**3.0 Planning History:**

None

**3.1 Enforcement History**

None

**4.0 Relevant An Bord Pleanála referrals**

N/A

## **5.0 Assessment**

Consideration as to whether a development constitutes exempted development or not is governed by Sections 4 and 5 of the Planning and Development Act 2000 (as amended) and Articles 5, 6, 7, 8, 9, 10 and 11 of the Planning and Development Regulations 2001 (as amended).

### **5.1 Is the proposal development?**

**Section 2(1)** in this Act, except where otherwise requires –

‘works’ includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal.

‘structure’ as any building, structure, excavation, or other thing constructed or made on, in or under any land, or part of a structure so defined, and –

(a) Where the context so admits, includes the land on, in or under which the structure is situated.

**Section 3(1)** defines ‘development’ as ‘the carrying out of any works on, in, over or under land or the making of any material change in the use of any structures or other land’.

The proposed development on site, comprising single storey extension to rear of existing dwelling incorporating a bedroom and disabled bathroom constitutes ‘works’ and ‘development’.

### **5.2 Is the proposal exempted development?**

The proposed development will be assessed under Class 1 of Part 1 of Schedule 2 of the Planning and Development Regulations 2001 (as amended).

*Is the development within the curtilage of a house?*

Yes, the extension is to the rear of the house and within the curtilage.

Class 1

The extension of a house, by the construction or erection of an extension (including a conservatory) to the rear of the house or by the conversion for use as part of the house of any garage, store, shed or other similar structure attached to the rear or to the side of the house is considered Exempted Development, subject to the following Conditions and Limitations:

*1. (a) Where the house has not been extended previously, the floor area of any such extension shall not exceed 40 square metres.*

The house has not been extended previously. There is an existing garden shed situated to the rear of the garden measuring 20.86sqm and 3.1m in height however this is exempted development. The proposal complies.

*(b) Subject to paragraph (a), where the house is terraced or semi-detached, the floor area of any extension above ground level shall not exceed 12 square metres.*

No development proposed above ground.

*(c) Subject to paragraph (a), where the house is detached, the floor area of any extension above ground level shall not exceed 20 square metres.*

N/A house is not detached

*2. (a) Where the house has been extended previously, the floor area of any such extension, taken together with the floor area of any previous extension or extensions constructed or erected after 1 October 1964, including those for which planning permission has been obtained, shall not exceed 40 square metres.*

The house has not been extended previously.

*(b) Subject to paragraph (a), where the house is terraced or semi-detached and has been extended previously, the floor area of any extension above ground level taken together with the floor area of any previous extension or extensions above ground level constructed or erected after 1 October 1964, including those for which planning permission has been obtained, shall not exceed 12 square metres.*

N/A no works proposed above ground floor.

*(c) Subject to paragraph (a), where the house is detached and has been extended previously, the floor area of any extension above ground level, taken together with the floor area of any previous extension or extensions above ground level constructed or erected after 1 October 1964, including those for which planning permission has been obtained, shall not exceed 20 square metres.*

N/A no works proposed above ground floor.

*3. Any above ground floor extension shall be a distance of not less than 2 metres from any party boundary.*

N/A no works proposed above ground floor.

*4. (a) Where the rear wall of the house does not include a gable, the height of the walls of any such extension shall not exceed the height of the rear wall of the house.*

Rear wall does not include a gable. Height of extension would not exceed the height of the rear wall of the house.

*(b) Where the rear wall of the house includes a gable, the height of the walls of any such extension shall not exceed the height of the side walls of the house.*

N/A

*(c) The height of the highest part of the roof of any such extension shall not exceed, in the case of a flat roofed extension, the height of the eaves or parapet, as may be appropriate, or, in any other case, shall not exceed the height of the highest part of the roof of the dwelling.*

Height would not exceed height of eaves or parapet or height of highest part of the roof of the dwelling.

*5. The construction or erection of any such extension to the rear of the house shall not reduce the area of private open space, reserved exclusively for the use of the occupants of the house, to the rear of the house to less than 25 square metres.*

It is stated that more than 25sqm of private open space would remain - 29.18sqm of private amenity space would remain.

*6. (a) Any window proposed at ground level in any such extension shall not be less than 1 metre from the boundary it faces.*

There is no window at ground level situated within 1 metre from the boundary it faces.

*(b) Any window proposed above ground level in any such extension shall not be less than 11 metres from the boundary it faces.*

N/A no above ground floor extension

*(c) Where the house is detached and the floor area of the extension above ground level exceeds 12 square metres, any window proposed at above ground level shall not be less than 11 metres from the boundary it faces.*

N/A

*7. The roof of any extension shall not be used as a balcony or roof garden.*

The submitted plans do not show a balcony or roof garden.

## **6.0 Article 9 Restrictions**

The proposed development is not restricted by any of the restrictions in Article 9 of the Planning and Development Regulations 2001 (as amended).

## **7.0 Appropriate Assessment**

Having regard to the nature and scale of the proposed development and the absence of proximity or connectivity to a Natura 2000 European Site, no Appropriate Assessment issues arise and it is not considered that the proposed development would be likely to have a significant effect individually or in combination with other plans or projects, on a European Site. An appropriate assessment screening report and determination is attached to this report.

## **8.0 Environmental Impact Assessment**

Having regard to the nature, size and location of the proposed development and to the criteria set out in Schedule 7 of the Regulations it has been concluded at preliminary examination that there is no real likelihood of significant effects on the environment arising from the proposed development. EIA, therefore, is not required.



## 9.0 Recommendation/Conclusion

The proposed development detailed on the application and plans submitted is considered to be within the scope of Class 1 of Part 1 of Schedule 2 of the Planning and Development Regulations 2001 (as amended).

Regard has been had to –

- (a) Section 2, 3 and 4 of the Planning and Development Act 2000 (as amended)
- (b) Class 1 of Part 1 of Schedule 2 of the Planning and Development Regulations 2001 (as amended)
- (c) The plans & particulars submitted with the application received on 10<sup>th</sup> of October 2025.

It is therefore considered that the said works are development and exempted development under Class 1 of the Planning and Development Regulations 2001 (as amended) and the Planning and Development Act 2000 (as amended).

<b>Executive Planner</b>	Ella O'Brien	<b>Date:</b> 30/10/2025
<b>Signature:</b>		
<b>Senior Executive Planner</b>	Grainne O'Keeffe	
<b>Signature</b>		30/10/25

## Appendix 1: AA PN01 Screening Form

STEP 1: Description of the project/proposal and local site characteristics:	
(a) File Reference No:	EC.209.25
(b) Brief description of the project or plan:	A section 5 application requesting a declaration on whether a single storey rear extension is or is not exempted development.
(c) Brief description of site characteristics:	Existing Two Storey semi-detached dwelling situated in existing residential estate.
(d) Relevant prescribed bodies consulted: e.g. DHLGH (NPWS), EPA, OPW	N/A
(e) Response to consultation:	N/A

STEP 2: Identification of relevant Natura 2000 sites using Source-Pathway-Receptor model and compilation of information on Qualifying Interests and conservation objectives.				
European Site (code)	List of Qualifying Interest/Special Conservation Interest <sup>1</sup>	Distance from proposed development <sup>2</sup> (km)	Connections (Source-Pathway-Receptors)	Considered further in screening Y/N
002165- Lower River Shannon SAC	<a href="https://www.npws.ie/protected-sites/sac/002165">https://www.npws.ie/protected-sites/sac/002165</a>	Approx. 1.3km	None	N
004077-River Shannon and River Fergus Estuaries SPA	<a href="https://www.npws.ie/protected-sites/sac/004077">https://www.npws.ie/protected-sites/sac/004077</a>	Approx. 2.3km	None	N

STEP 3: Assessment of Likely Significant Effects	
(a) Identify all potential direct and indirect impacts that may have an effect on the conservation objectives of a European site, taking into account the size and scale of the project under the following headings:	
<b>Impacts:</b>	<b>Possible Significance of Impacts: (duration/Magnitude etc)</b>
<b>Construction phase e.g</b> <ul style="list-style-type: none"> <li>- Vegetation clearance</li> <li>- Demolition</li> <li>- Surface water runoff from soil excavation/infill/landscaping (including borrow pits)</li> <li>- Dust, noise, vibration</li> <li>- Lighting disturbance</li> <li>- Impact on groundwater/dewatering</li> </ul>	None. Works are minimal in nature and there is no hydrological connection or direct encroachment on the SAC and SPA due to separation distance.

<ul style="list-style-type: none"> <li>- Storage of excavated/construction materials</li> <li>- Access to site</li> <li>- Pests</li> </ul>	
<b>Operation phase e.g.</b> <ul style="list-style-type: none"> <li>- Direct emission to air and water</li> <li>- Surface water runoff containing contaminant or sediment</li> <li>- Lighting disturbance</li> <li>- Noise/vibration</li> <li>- Changes to water/groundwater due to drainage or abstraction</li> <li>- Presence of people, vehicles and activities</li> <li>- Physical presence of structures (e.g. collision risk)</li> <li>- Potential for accidents or incidents</li> </ul>	None. Works are minimal in nature and there is no hydrological connection or direct encroachment on the SAC and SPA due to separation distance.
<b>In-combination/Other</b>	N/A

<b>(b) Describe any likely changes to the European site:</b>	
<p>Examples of the type of changes to give consideration to include:</p> <ul style="list-style-type: none"> <li>- Reduction or fragmentation of habitat area</li> <li>- Disturbance to QI species</li> <li>- Habitat or species fragmentation</li> <li>- Reduction or fragmentation in species density</li> <li>- Changes in key indicators of conservation status value (water or air quality etc)</li> <li>- Changes to areas of sensitivity or threats to QI</li> <li>- Interference with the key relationships that define the structure or ecological function of the site</li> </ul>	None. Works are minimal in nature and there is no hydrological connection or direct encroachment on the SAC and SPA due to separation distance.

<b>(c) (Are 'mitigation' measures necessary to reach a conclusion that likely significant effects can be ruled out at screening?)</b>	
<input type="checkbox"/>	<b>Yes</b>
<input checked="" type="checkbox"/>	<b>No</b>


<b>STEP 4: Screening Determination Statement</b>
<p><b>The assessment of significance of effects:</b></p> <p>Describe how the proposed development (alone or in-combination is/is not likely to have significant effects on European site (s) in view of its conservation objectives</p>

On the basis of the information submitted, which is considered adequate to undertake a screening determination and having regard to:

- the nature and scale of the proposed development,
- the intervening land uses and distance from European sites,
- the lack of direct connections with regard to the Source-Pathway-Receptor model,


it is concluded that the proposed development, individually or in-combination with other plans or projects, would not be likely to have a significant effect on the above listed European sites or any other European site, in view of the said sites' conservation objectives.

**Conclusion:** An appropriate assessment is not required.

	Tick as appropriate:	Recommendation:
(i) It is clear that there is <b>no likelihood</b> of significant effects on a European Site	<input checked="" type="checkbox"/>	The proposal can be screened out: Appropriate Assessment not required.
(ii) It is <b>uncertain</b> whether the proposal will have a significant effect on a European Site	<input type="checkbox"/>	<input type="checkbox"/> Request further information to complete screening  <input type="checkbox"/> Request NIS  <input type="checkbox"/> Refuse planning permission
(iii) <b>Significant effects</b> are likely	<input type="checkbox"/>	<input type="checkbox"/> Request NIS  <input type="checkbox"/> Refuse planning permission
<b>Signature and Date of Recommending Officer:</b>	 <hr/> Ella O'Brien, Executive Planner 30/10/2025	
<b>Signature and Date of the Decision Maker:</b>	<hr/> Grainne O'Keeffe, Senior Executive Planner 30/10/2025	

## Appendix 2: EIA Screening

Establishing if the proposal is a 'sub-threshold development':		
Planning Register Reference:	EC.209.25	
Development Summary:	A section 5 application requesting a declaration on whether a single storey rear extension to the existing dwelling is or is not exempted development.	
Was a Screening Determination carried out under Section 176A-C?	<input type="checkbox"/> Yes. no further action required <input checked="" type="checkbox"/> No. Proceed to <b>Part A</b>	
<b>A. Schedule 5 Part 1</b> - Does the development comprise a project listed in Schedule 5, Part 1. of the Planning and Development Regulations 2001 (as amended)? (Tick as appropriate)		
<input type="checkbox"/>	Yes. specify class: [insert here] _	<b>EIA is mandatory</b>  No Screening required
<input checked="" type="checkbox"/>	No	Proceed to <b>Part B</b>
<b>B. Schedule 5 Part 2</b> - Does the development comprise a project listed in Schedule 5, Part 2, of the Planning and Development Regulations 2001 (as amended) <b>and</b> does it meet/exceed the thresholds? (Tick as appropriate)		
<input checked="" type="checkbox"/>	No. the development is not a project listed in Schedule 5, Part 2	<b>No Screening required</b>
<input type="checkbox"/>	Yes the project is listed in Schedule 5, Part 2 <b>and</b> meets/exceeds the threshold, specify class (including threshold): _[specify class & threshold here]_	<b>EIA is mandatory</b>  No Screening required
<input type="checkbox"/>	Yes the project is of a type listed <b>but</b> is <i>sub-threshold</i> : [insert here] _	Proceed to <b>Part C</b>
<b>c. If Yes, has Schedule 7A information/screening report been submitted?</b>		
<input type="checkbox"/>	Yes, Schedule 7A information/screening report has been submitted by the applicant	<b>Screening Determination required</b>
<input type="checkbox"/>	No, Schedule 7A information/screening report has not been submitted by the applicant	<b>Preliminary Examination required</b>

<b>Signature and Date of Recommending Officer:</b>	 <hr/> Ella O'Brien, Executive Planner 30/10/2025
<b>Signature and Date of the Decision Maker:</b>	<hr/> Grainne O'Keeffe, Senior Executive Planner 30/10/2025



**Appendix 3: Site visit 30/10/2025**

---











Comhairle Cathrach  
& Contae **Luimnigh**  
**Limerick City**  
& County Council

Pleanáil, agus Cruthú Áite  
Comhairle Cathrach agus Contae Luimnigh  
Bothar Thuar an Daill  
Tuar an Daill, Luimneach  
V94 WV78

Planning and Place-Making  
Limerick City and County Council  
Dooradoyle Road  
Dooradoyle, Limerick  
V94 WV78

## PLANNING & PLACE-MAKING

### REG POST:

**Mrs. Anne Sheehan,  
90 Hilltop,  
St. Patricks Road,  
Limerick.**

**EC/209/25**

**05 November 2025**

**Re: Declaration under Section 5**

---

Dear Sir/Madam,

I refer to the above application for Section 5 Declaration on Development and Exempted Development.

Please find herewith a copy of Council's decision on same.

Yours faithfully,

**(for) Senior Planner,  
Development Management**

Tuar an Daill, Luimneach  
Dooradoyle, Limerick

[customerservices@limerick.ie](mailto:customerservices@limerick.ie)  
 [www.limerick.ie](http://www.limerick.ie)  
 @LimerickCouncil  
 061 - 556 000

**LIMERICK CITY & COUNTY COUNCIL**

**APPROVED OFFICER'S ORDER**

**SECTION 5 – DECLARATION ON DEVELOPMENT AND EXEMPTED DEVELOPMENT**

**No. AOO/DC/2025/1221**

**File Ref No. EC/209/25**

**SUBJECT:** Declaration under Section 5.  
Planning and Development Act 2000 as amended  
Planning and Development Regulations 2001 as amended

**RE:** A single storey extension at 90 Hilltop, St. Patricks Road, Limerick

**ORDER:** Whereas by Director General's Order No. DG/2024/141 dated 07<sup>th</sup> October 2025, Dr. Pat Daly, Director General, Limerick City & County Council did, pursuant to the powers conferred on him by Section 154 of the Local Government Act, 2001, (as amended by the Local Government Reform Act, 2014 and the Local Government (Mayor of Limerick) and Miscellaneous Provisions Act, 2024), delegate unto Grainne O'Keeffe, Senior Executive Planner the functions as defined in the Local Government Acts, 1925 to 2024.

Now therefore pursuant to the delegation of the functions aforesaid, I, Grainne O'Keeffe, Senior Executive Planner, having considered the report and recommendation of Ella O'Brien, Executive Planner dated 30/10/2025, hereby order that a Declaration under Section 5 of the Planning and Development Act 2000 (as amended) be issued to Mrs. Anne Sheehan, 90 Hilltop, St. Patricks Road, Limerick to state that the works as described above is

**Development and is Exempt Development.**

Signed

  
\_\_\_\_\_  
SENIOR EXECUTIVE PLANNER, PLANNING & PLACE-MAKING

Date

  
\_\_\_\_\_

Certified to be a true copy of Approved Officer's Order, Planning & Development Order No. AOO/DC/2025/1221 dated 5/11/25, pursuant to Section 151(7) of the Local Government Act 2001

Signed:

  
\_\_\_\_\_  
SENIOR EXECUTIVE PLANNER, PLANNING & PLACE-MAKING



Comhairle Cathrach  
& Contae Luimnigh

Limerick City  
& County Council

Pleanáil, agus Cruthú Áite  
Comhairle Cathrach agus Contae Luimnigh  
Bothar Thuar an Daili  
Tuar an Daili, Luimneach  
V94 WV78

Planning and Place-Making  
Limerick City and County Council  
Dooradoyle Road  
Dooradoyle, Limerick  
V94 WV78

## **SECTION 5 – DECLARATION ON DEVELOPMENT AND EXEMPTED DEVELOPMENT**

**DECLARATION NO.**

**EC/209/25**

**Name and Address of Applicant:** Mrs. Anne Sheehan, 90 Hilltop, St. Patricks Road, Limerick

**Agent:** N/A

**Whether** the single storey extension at 90 Hilltop, St. Patricks Road, Limerick is or is not Development or is or is not Exempted Development. The works as described on the plans submitted with the application on the 10<sup>th</sup> of October 2025.

**AND WHEREAS** the Planning Authority has concluded that the single storey extension at 90 Hilltop, St. Patricks Road, Limerick **DOES** come within the scope of exempted development under Class 1 of the Planning and Development Regulations 2001 (as amended) and the Planning and Development Act 2000 (as amended). See Report attached.

**NOW THEREFORE** the Planning Authority in exercise of the powers conferred on it by Section 5(2) (a) of the Planning and Development Act 2000 (as amended) hereby decides that the said development as described above is **Development and is Exempt Development.**

Signed on behalf of the said Council

Date:

5.11.2025

**NOTE:** A Declaration on Development or Exemption issued by Limerick City & County Council may be referred to An Coimisiún Pleanála on payment of €220 for review within 4 weeks after the issuing of the declaration.