

Comhairle Cathrach
& Contae Luimních

Limerick City
& County Council

Limerick City and County Council

Planning Department

Section 5 Application

DECLARATION ON DEVELOPMENT AND EXEMPTED DEVELOPMENT

Applicant's Name:

SEAN HANRATTY

Applicant's Address:

RIVERSE,

ADARE

V94 X62F

Co. LIMERICK

J94 X62F

Telephone No.

[REDACTED]

Name of Agent (if any):

Paul Carr - ProDraw Architecture

Address:

Ballinamona

Kilcoman / Askeaton

Co. Limerick.

Telephone No.

086 6038330

Address for Correspondence:

AS ABOVE

Location of Proposed development (Please include Eircode):

V94 X62F
RINEBOE ADARE
Co. LIMERICK

Description of Proposed development:

SEE THE ATTACHED Drawings.
Repair works
Plaster finish with ~~raised~~ ^{Banding} to first floor on
front elevation to replace existing ~~brick~~ finish.

Section of Exempted Development Regulations and/or section of the Act
under which exemption is claimed:

Is this a Protected Structure or within the curtilage of a Protected Structure.

YES/NO

Applicant's interest in site: Owner

List of plans, drawings, etc. submitted with this application:

Site location map, S-01 Site Layout Plan S-02 Ground Floor Plan
S-03 First Floor Plan S-04 Existing Front Elevation
S-05 Existing Rear Elevation S-06 Existing Side Elevation
D-01 Proposed Front Elevation

Have any previous extensions/structures been erected at this location YES/NO

If Yes please provide floor areas of all existing structures:

Signature of Applicant (or Agent) Sami HAJRATTY

NOTES: Application must be accompanied by:

- (a) Fee of €80 ✓
- (b) Site location map ✓
- (c) Site layout plan ✓
- (d) Dimensioned plans and elevations of the structure and any existing structures. ✓
- (e) Where the declaration is in respect of a farm building, a layout identifying the use of each existing building together with floor area of each building.

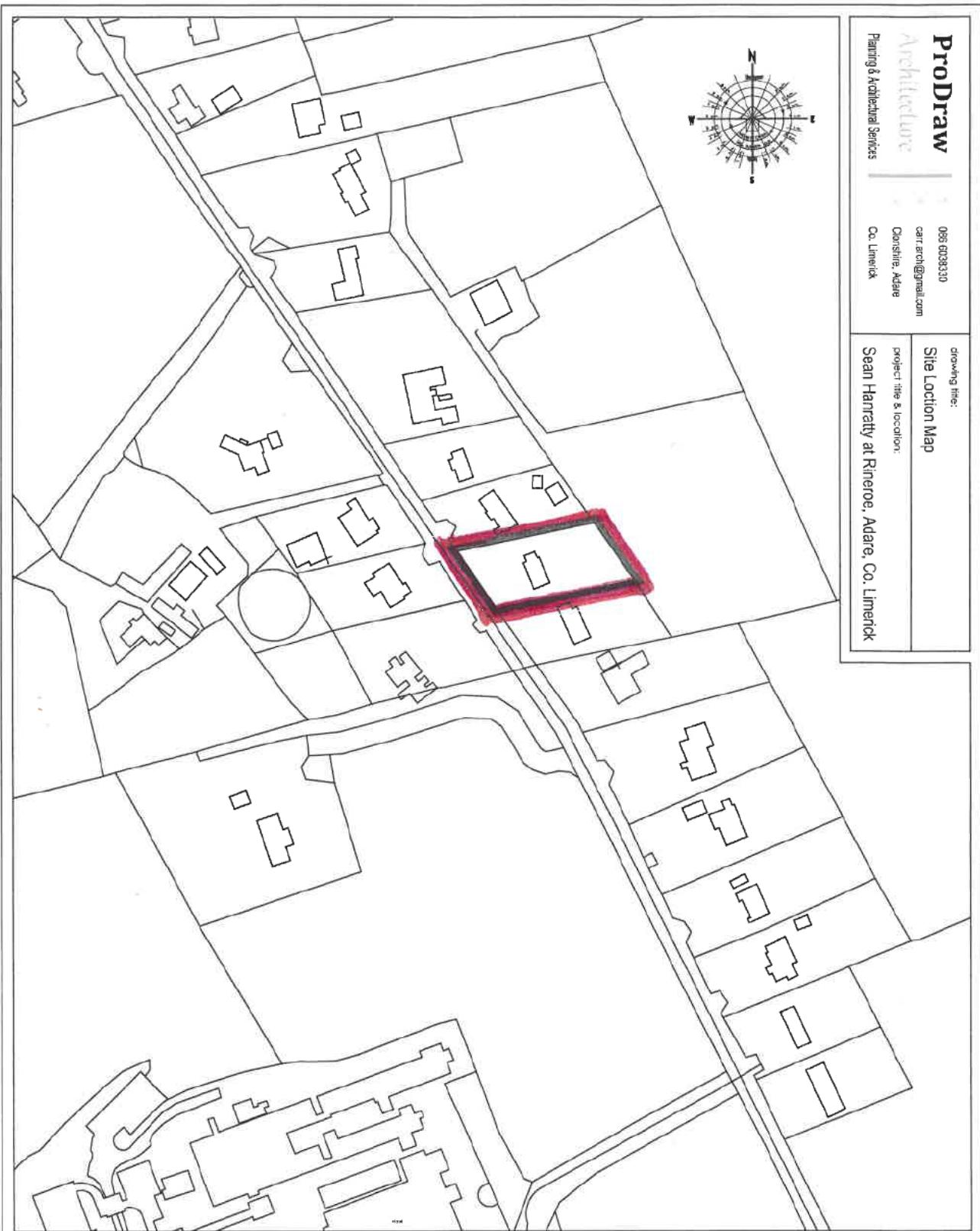
Application to be forwarded to:

**Planning Department,
Limerick City & County Council,
Dooradoyle,
Limerick,
V94 XF67**

OFFICE USE ONLY

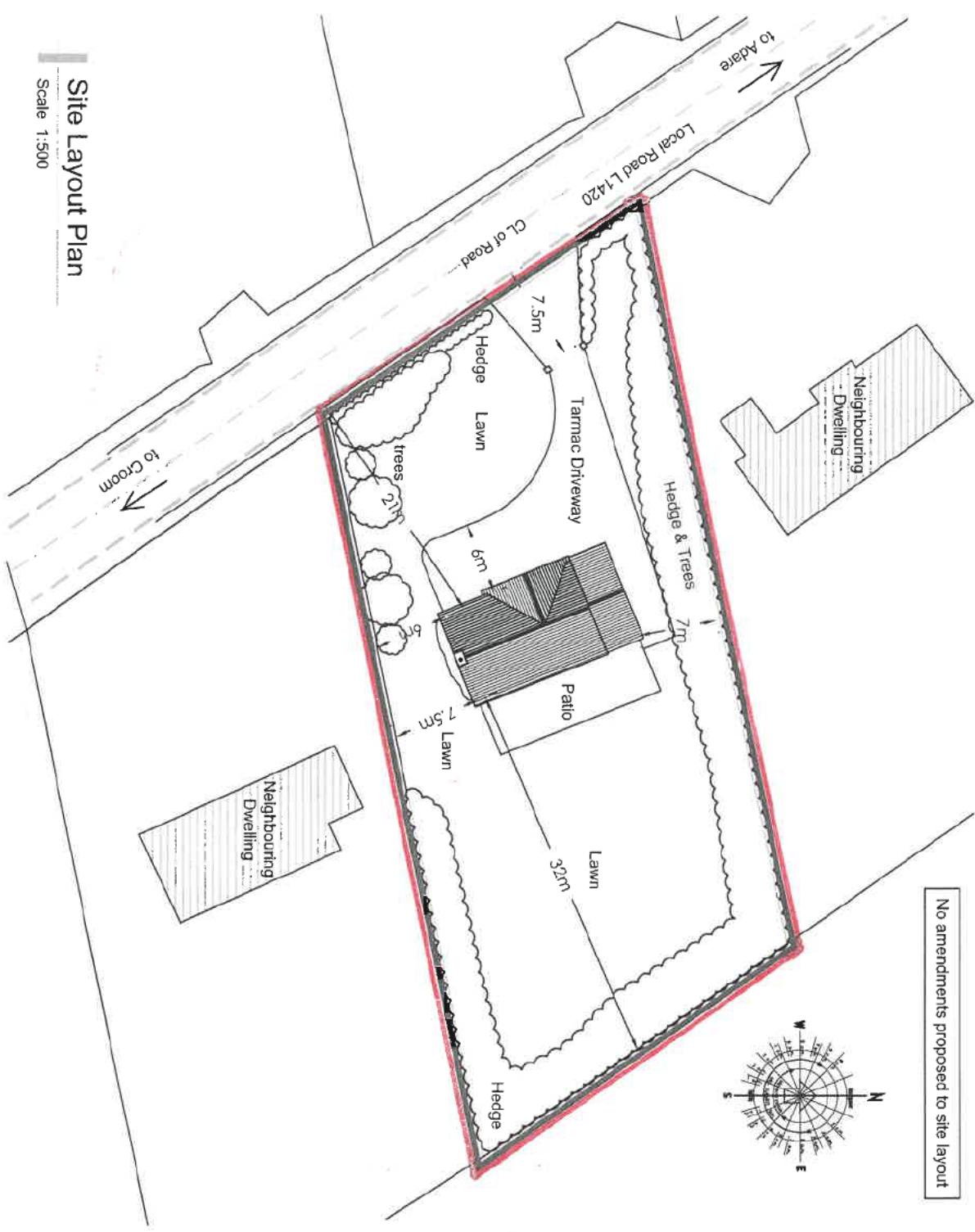
Ref. No. _____ Date Received _____

Fee Received _____ Date Due _____

		ProDraw Architecture Planning & Architectural Services
086 6038330 CarrArch@gmail.com Cloisnire, Adare Co. Limerick		drawing title: Site Location Map project title & location: Sean Hanratty at Rinerroe, Adare, Co. Limerick
Description: Digital Landscape Model (DLM) Publisher / Source: Tally Draw Data Source / Reference: Autodesk AutoCAD DWG, DWZ PRIME File format: DWG File Name: V_3068491.dwg Clip Extent / Area of Interest (AOI): L34,L35,Y34,W35,433,433,449,450,455 L35,X37,Y34,W35,433,433,449,450,455 L34,X37,Y35,W35,433,433,449,450,455 L35,X38,Y35,W35,433,433,449,450,455 Projection / Spatial Reference: Projected Reference P0: Projected Reference Centre Point / Coordinates: X,Y: 548184.57, 563637.96 Reference Area: Map Sheet / Map Sheets: 12,461,49253 12,460,49254 12,460,49255 12,460,49256 15,460,49256 Data Extraction Date: Date: 28-Jul-2025 Source: Data Release DOLLS Release: V1.08.124 Product Version: Version: 1.04 License / Copyright: Compiled and published by: Trail Emiss. Phoenix Park Dublin 8 Ireland. 0009864 www.jibis.ie Any unauthorised reproduction infringes Take Emiss. copyright. No part of this publication may be copied, reproduced or transmitted in any form or by any means without the prior written permission of the copyright owner. The representation on this map is of road, track or footpath is not evidence of the existence of a right of way. This photographic map does not show legal property boundaries, nor does it show ownership of physical features. © Trail Emiss. 2025. All rights reserved. Good cause or concern is claimed for the use of this document. It is the responsibility of the user to verify the accuracy of the information contained in this document. No license is granted to copy, distribute or display this document or any part thereof, in whole or in part. No license is granted to use this document for any purpose other than the information it contains. It is prohibited to print or photocopy this document. It is prohibited to print or photocopy this document.		

Site Layout Plan

Scale 1:500



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CONTRACTOR MUST CONFIRM SITE DIMENSIONS

SITE AREA ORIGINS.

Notes

Revision	Date

Survey drawing only

project no:	1114 25
drawing no:	S-01
scale:	1:100
date:	July 2025
drawn:	Paul Carr BSc MSc Dip

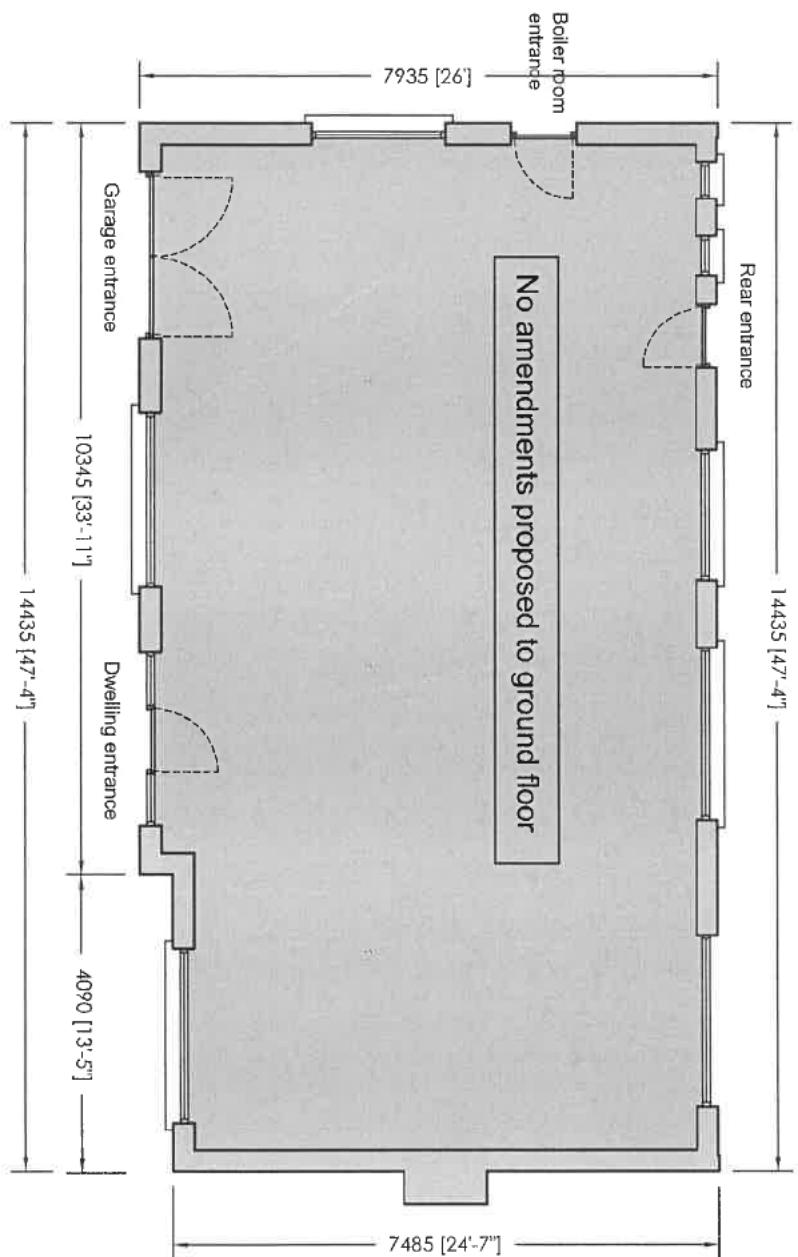
Site Layout Plan

project title & location:
Sean Harratty at

Ringside, Adare, Co. Limerick

ProDraw

ArtisticCADD	086 503830
Christine, Adare	car.martinez@outlook.com
Planning & Architectural Services	Co. Limerick



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Notes

Survey drawing only

Project no:	114-25
Drawing no:	S-02
Scale:	1:100
Date:	July 2025
Drawn:	Paul Carr BSc MSc Dip
Checked:	
Approved:	

Existing Ground Floor Plan

Project no & location:
Sean Harrity at
Riverside, Adare, Co. Limerick

ProDraw
Architectural
Planning & Architectural Services
Co. Limerick

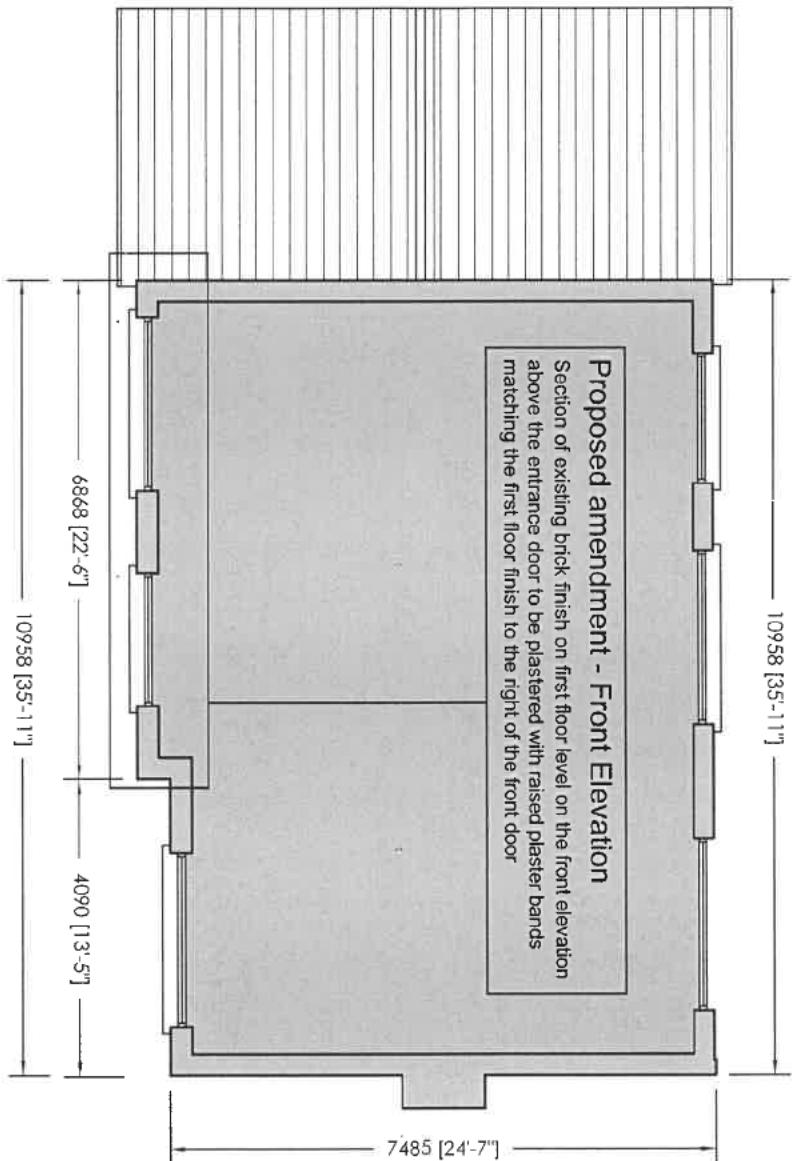
086 6068390
e: car.carr@gmail.com
n: Carr, Paul
Co. Limerick

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104

Proposed amendment - Front Elevation

Section of existing brick finish on first floor level on the front elevation above the entrance door to be plastered with raised plaster bands matching the first floor finish to the right of the front door



Existing First Floor Plan

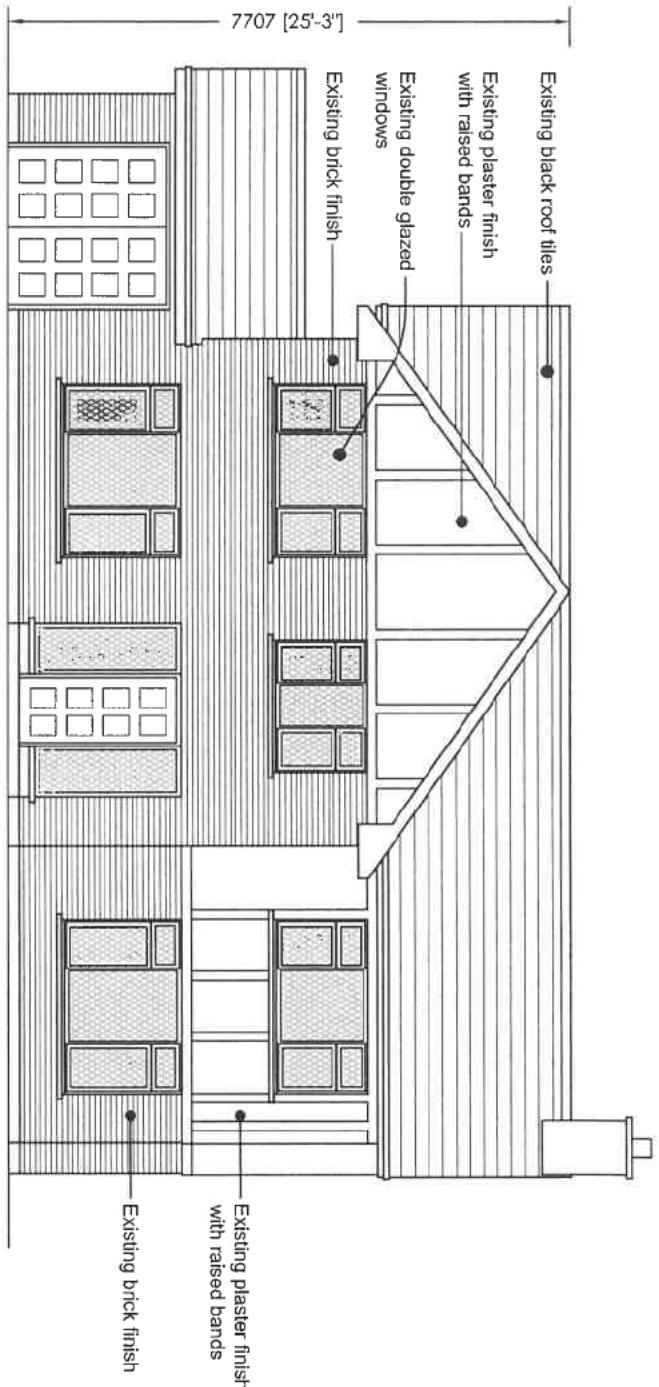
Scale 1:100

ProDraw

ProDraw
Architects
Planning & Architectural Services
Clonlara, Athlone
Co. Westmeath
096 5038330
car.act@gmail.com

Sean Hanrahan at
Rineroe, Adare, Co. Limerick

Survey	drawing	only
project no.	114-25	
drawing no.	S-03	
scale:	1:100	
date:	July 2025	
drawn:	Paul Carr	
checked:	Benji Dip	
drawing title:	Existing First Floor Plan	



Existing Front Elevation

Scale 1:100

Existing black roof tiles

Existing plaster finish
with raised bands

Existing double glazed
windows

Existing brick finish

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Survey drawing only

project no.	1114 25
drawing no.	S-04
scale:	1:100
date:	July 2025
drawn:	Paul Carr BSc MArch Dip
drawing time:	

Revision

Date

Existing Front Elevation

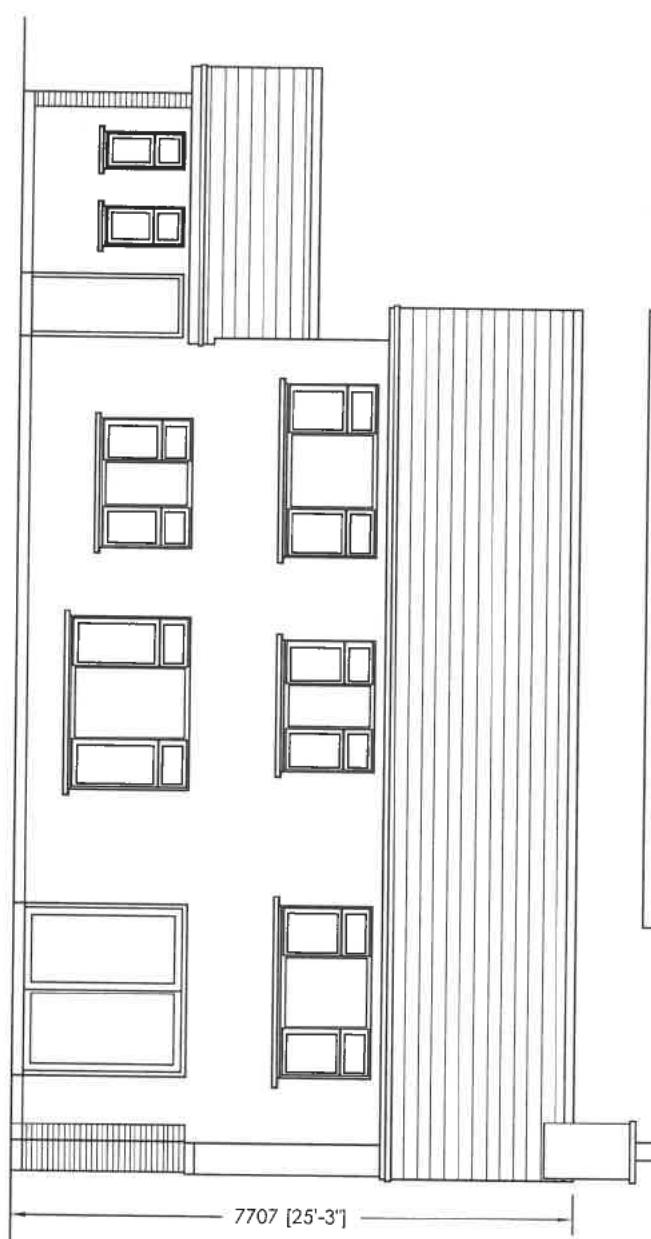
project file & location:
Sean Harrity at
Rinrone, Adare, Co. Limerick

ProDraw
Architectural
Planning & Architectural Services
086 8039329
karrach@gmail.com
Christine Adare
Co. Limerick

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No amendments proposed to rear elevation

Notes



Existing Rear Elevation

Scale 1:100

Survey drawing only

project no:	114 25
drawing no:	S.05
scale:	1:100
date:	July 2025
drawn:	Paul Carr Bsc. Arch Dip

drawing title:

Existing Rear Elevation

project file & location:

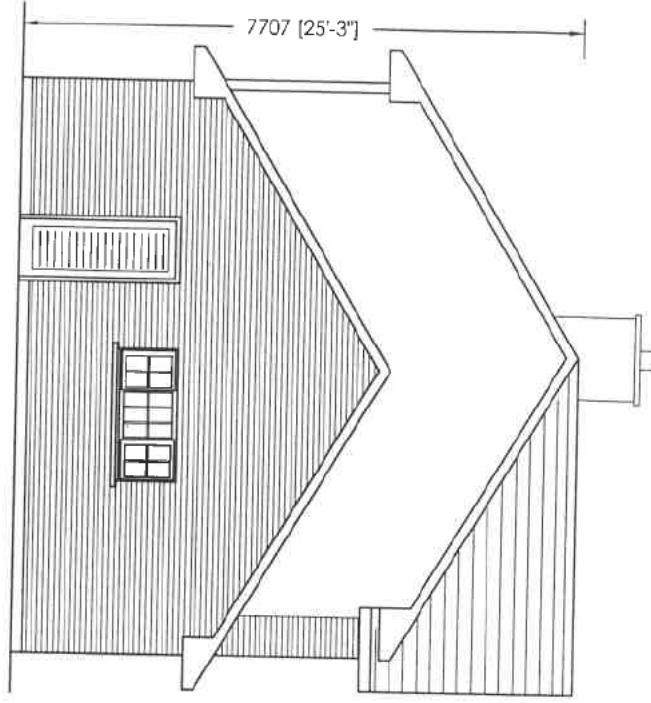
Sean Harrington
Rinrone, Adare, Co. Limerick

ProDraw

086 6059390
carcarr2@gmail.com
Christina Carr
Co. Limerick
Planning & Architectural Services

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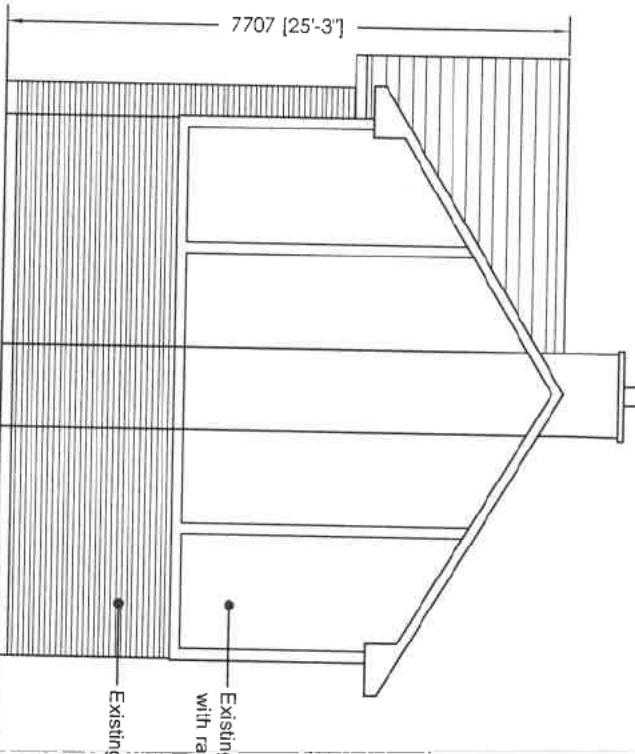
Notes



Existing Side Elevation

Scale 1:100

No amendments proposed to side elevations



Existing Side Elevation

Scale 1:100

Survey drawing only

Revision	Date

project no. 11425
drawing no. S-06
scale: 1:100
date: July 2025
drawn: Paul Carr B.Sc. Arch Dip

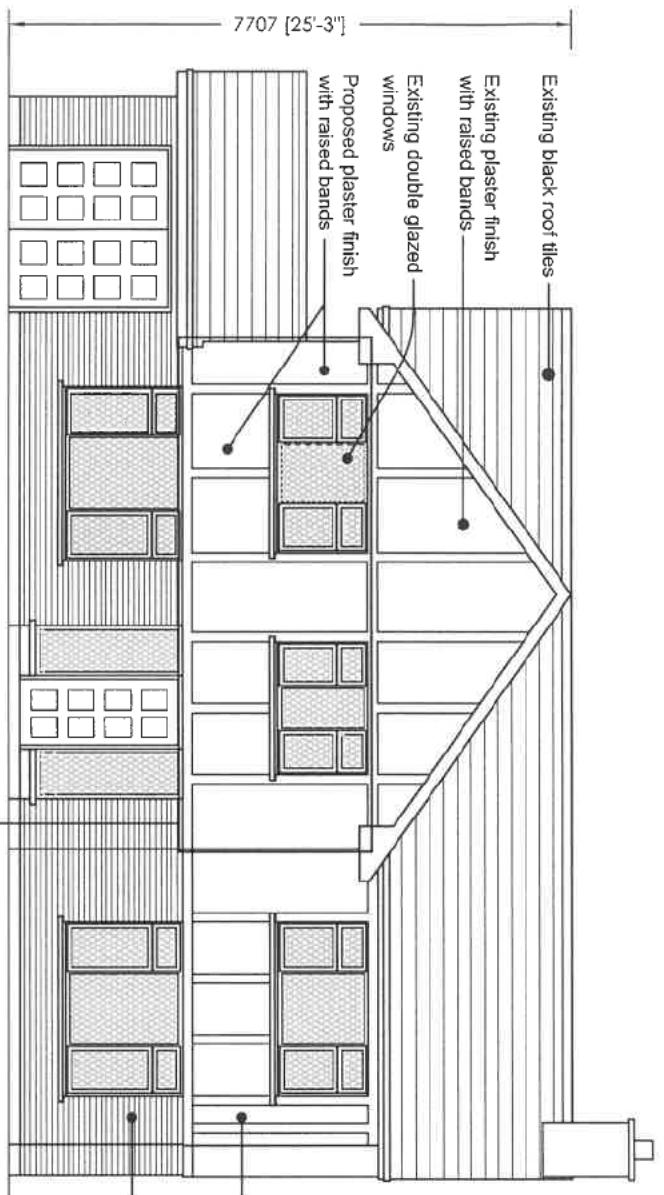
drawn by: _____
existing side elevations
project file & location:
Sean Hanrahan
Pierce, Adare, Co. Limerick

ProDraw
Architectural Drawing
Planning & Architectural Services

Office: 061 383320
Email: gta.arch@gmail.com
One Mile, Adare
Co. Limerick

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Notes



Proposed Front Elevation

Scale 1:100

Proposed amendment - Front Elevation
Section of existing brick finish on first floor level on the front elevation above the entrance door
to be plastered with raised plaster bands matching the first floor finish to the right of the front door

design drawing only

Revision	Date

drawing ref:

Proposed Front Elevation

project no: 114-25
drawing no: D-01
scale: 1:100
date: July 2025
drawn: Paul Carr BSc AArch Dip

Ringrose, Adare, Co. Limerick

ProDraw
Architectural
Planning & Architectural Services
086 6098330
carroll@galaxy.ie
a. Carroll, Adare
Co. Limerick



COMHAIRLE
CATHRACH & CONTAE
Luimnígh
Limerick
CITY & COUNTY
COUNCIL

LIMERICK CITY & COUNTY COUNCIL
CASH OFFICE
CIVIC OFFICES
DOORADOYLE
CO LIMERICK

29/07/2025 14:45:37

Receipt No./
Uimhir Admhála : LA25/0/25179597
***** **REPRINT** *****

SEAN HANRATTY
RINEROE
ADARE
CO LIMERICK

EXEMPTION CERTIFICATES	80.00
GOODS	80.00
VAT Exempt/Non-vatable	

Total/Iomlán : 80.00 EUR

Tendered/Tairgthe : 80.00
Credit / Debit Card
VISA
*****1542

Change/Sóinseáil : 0.00

Issued By/
Eisithe ag : John Harold
From/Ó : CASH OFFICE HQ
Vat reg No./Cláruimhir CBL: 3267368TH

Report on application under Section 5 of the Planning and Development Act 2000 (as amended)

Reference no. EC-160-25

Name and Address of Applicant: Sean Hanratty,
Rineroe,
Adare,
Co. Limerick.
V94 X62F.

Agent: Paul Carr,
ProDraw Architecture,
Ballinamona,
Asketaon,
Co. Limerick.

Location: Rineroe,
Adare,
Co. Limerick.
V94 X62F.

Description of Site and Surroundings:

The site is located in the townland of Rineroe, circa 5km west of Adare village on local road L1420. The surrounding area is predominantly residential with agricultural land to the rear of dwellings. The site comprises a detached two storey dwelling on a private site, the house has a brick finish at ground floor level and mixture of brick and render finish on first floor level to its front (western) elevation.

Zoning:

N/A.

Proposal:

This is an application requesting a Section 5 Declaration on whether the following works are or are not development or are or not exempted development:

- Proposed repair works to the first floor front elevation and a change in finish from brick to render and paint

This Section 5 declaration includes the following:

- Application Form
- Site location map
- Site layout plan
- Elevations

Planning History:

None

Enforcement History

None

Assessment

Consideration as to whether a development constitutes exempted development or not is governed by Sections 4 and 5 of the Planning and Development Act 2000 (as amended) and Articles 5, 6, 7, 8, 9, 10 and 11 of the Planning and Development Regulations 2001 (as amended).

Is the proposal development?

Section 2(1) in this Act, except where otherwise requires –

‘works’ includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal.

‘structure’ as any building, structure, excavation, or other thing constructed or made on, in or under any land, or part of a structure so defined, and –

(a) Where the context so admits, includes the land on, in or under which the structure is situated.

Section 3(1) defines ‘development’ as ‘the carrying out of any works on, in, over or under land or the making of any material change in the use of any structures or other land’.

The proposed works to the first floor comprising of repairs and rendering of the dwelling constitutes ‘works’ and ‘development’.

Is the proposal exempted development?

The proposed installation of external insulation on a dwelling was assessed under Section 4(1) (h) of the Planning and Development Act 2000 (as amended) which is as follows:

Exempted development – *“development consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures”*.

The existing dwelling is a detached dwelling with a mix of brick and render finish located on a large site within a row of existing dwellings. It is proposed to install external insulation on part of the elevation of the existing dwelling at first floor front level where there is currently a brick finish. The proposed finish will be plaster render. While I note that the proposed finish is different from the existing finish, it is in keeping with the finish of the remaining first floor elevation. The ground floor area of the front elevation will remain as it currently is i.e. brick. I note that there is a neighbouring dwelling with a similar brick and render finish.



Above: Subject dwelling



Above: Neighbouring dwelling

Therefore I consider the works as proposed would not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures and are therefore acceptable.

Article 9 Restrictions

The proposed development is not restricted by any of the restrictions in Article 9 of the Planning and Development Regulations 2001 (as amended).

Appropriate Assessment

An AA Screening examination was undertaken (see appendix 1). Overall it is considered that the development as proposed should not exercise a significant effect on the conservation status of any SAC or SPA as there are no source-pathway-receptors and the site does not directly encroach on any Natura 2000 European Sites. Therefore, an Appropriate Assessment is not required in this instance.

Environmental Impact Assessment

An EIA Screening examination was undertaken (see Appendix 2). Based on a preliminary examination of the proposal there is no real likelihood of significant effects on the environment and EIA is not required.

Conclusion/Recommendation

The proposed repair and rendering of the first floor detailed on the application and plans submitted is considered to be within the scope of Section 4(1) (h) of the Planning and Development Act 2000, as amended.

Regard has been had to –

- a) Section 4(1) (h) of the Planning and Development Act 2000, as amended.
- b) The plans & particulars submitted with the application received on 29th of July 2025.

It is therefore considered that the said works are development and are exempted development under Section 4(1) (h) of the Planning and Development Act 2000, as amended.

John Wallace

John Wallace
A/Executive Planner

Date 18/08/2025

Jennifer Collins

Jennifer Collins
A/Senior Executive Planner

Date: 18/08/2025

Appendix 1: AA PN01 Screening Form

STEP 1: Description of the project/proposal and local site characteristics:

(a) File Reference No:	EC-160-25
(b) Brief description of the project or plan:	Proposed repair works and render of the exterior
(c) Brief description of site characteristics:	Existing dwelling
(d) Relevant prescribed bodies consulted: e.g. DHLGH (NPWS), EPA, OPW	None
(e) Response to consultation:	No

STEP 2: Identification of relevant Natura 2000 sites using Source-Pathway-Receptor model and compilation of information on Qualifying Interests and conservation objectives.

European Site (code)	List of Qualifying Interest/Special Conservation Interest ¹	Distance from proposed development ² (km)	Connections (Source-Pathway-Receptors)	Considered further in screening Y/N
002165	Lower River Shannon SAC https://www.npws.ie/protected-sites/sac/002165	c1.31km	None	N
000439	Tory Hill SAC https://www.npws.ie/protected-sites/sac/000439	c5.81km	None	N
000174	Curraghchase Woods SAC https://www.npws.ie/protected-sites/sac/000174	c6.63km	None	N
002279	Askeaton Fen Complex SAC	c9.09km	None	N

	https://www.npws.ie/protected-sites/sac/002279			
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STEP 3: Assessment of Likely Significant Effects	
(a) Identify all potential direct and indirect impacts that may have an effect on the conservation objectives of a European site, taking into account the size and scale of the project under the following headings:	
Impacts:	Possible Significance of Impacts: (duration/Magnitude etc)
Construction phase e.g <ul style="list-style-type: none">- Vegetation clearance- Demolition- Surface water runoff from soil excavation/infill/landscaping (including borrow pits)- Dust, noise, vibration- Lighting disturbance- Impact on groundwater/dewatering- Storage of excavated/construction materials- Access to site- Pests	None. Works are minimal and will involve temporary construction works; therefore, no likely significant impact on the conservation objectives of the above named site.
Operation phase e.g. <ul style="list-style-type: none">- Direct emission to air and water- Surface water runoff containing contaminant or sediment- Lighting disturbance- Noise/vibration- Changes to water/groundwater due to drainage or abstraction- Presence of people, vehicles and activities- Physical presence of structures (e.g collision risk)- Potential for accidents or incidents	None works are minimal and will involve temporary construction works; therefore, no likely significant impact on the conservation objectives of the above named site.
In-combination/Other	N/A given the level of development

(b) Describe any likely changes to the European site:	
Examples of the type of changes to give consideration to include: <ul style="list-style-type: none">- Reduction or fragmentation of habitat area- Disturbance to QI species	None. Works are minimal and will involve temporary construction works; therefore, no likely significant impact on the conservation objectives of the above named site.

<ul style="list-style-type: none"> - Habitat or species fragmentation - Reduction or fragmentation in species density - Changes in key indicators of conservation status value (water or air quality etc) - Changes to areas of sensitivity or threats to QI - Interference with the key relationships that define the structure or ecological function of the site 	
--	--

<p>(c) (Are '<i>mitigation</i>' measures necessary to reach a conclusion that likely significant effects can be ruled out at screening?)</p>
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

<h3 style="text-align: center;">STEP 4: Screening Determination Statement</h3>		
<p>The assessment of significance of effects:</p> <p>Describe how the proposed development (alone or in-combination is/is not likely to have significant effects on European site (s) in view of its conservation objectives</p>		
<p>On the basis of the information submitted, which is considered adequate to undertake a screening determination and having regard to:</p> <ul style="list-style-type: none"> • the nature and scale of the proposed development, • the intervening land uses and distance from European sites, • the lack of direct connections with regard to the Source-Pathway-Receptor model, <p>it is concluded that the proposed development, individually or in-combination with other plans or projects, would not be likely to have a significant effect on the above listed European sites or any other European site, in view of the said sites' conservation objectives.</p>		
<p>Conclusion:</p> <p>AA Screening is not required.</p>		
	Tick as appropriate:	Recommendation:
<p>(i) It is clear that there is no likelihood of significant effects on a European Site</p>	<input checked="" type="checkbox"/>	<p>The proposal can be screened out: Appropriate Assessment not required.</p>
<p>(ii) It is uncertain whether the proposal will have a significant effect on a European Site</p>	<input type="checkbox"/>	<p><input type="checkbox"/> Request further information to complete screening</p> <p><input type="checkbox"/> Request NIS</p>

		<input type="checkbox"/> Refuse planning permission
(iii) Significant effects are likely	<input type="checkbox"/>	<input type="checkbox"/> Request NIS <input type="checkbox"/> Refuse planning permission
Signature and Date of Recommending Officer:	 John Wallace A/Executive Planner 18/08/2025	
Signature and Date of the Decision Maker:	 Jennifer Collins, A/Senior Executive Planner Date: 18/08/25	

Appendix 2 – EIA screening examination

Establishing if the proposal is a ‘sub-threshold development’:	
Planning Register Reference:	EC-160-25
Development Summary:	Proposed repair works and render of the exterior
Was a Screening Determination carried out under Section 176A-C?	<input type="checkbox"/> Yes, no further actions required <input checked="" type="checkbox"/> No, proceed to Part A
A. Schedule 5 Part 1 - Does the development comprise a project listed in Schedule 5, Part 1, of the Planning and Development Regulations 2001 (as amended)? (Tick as appropriate)	
<input type="checkbox"/> Yes specify class here: EIA is mandatory <input type="checkbox"/> No Screening required	
<input checked="" type="checkbox"/> No Proceed to Part B	
B. Schedule 5 Part 2 - Does the development comprise a project listed in Schedule 5, Part 2, of the Planning and Development Regulations 2001 (as amended) and does it meet/exceed the thresholds? (Tick as appropriate)	
<input checked="" type="checkbox"/> No, the development is not a project listed in Schedule 5, Part 2 No Screening required	
<input type="checkbox"/> Yes the project is listed in Schedule 5, Part 2 and meets/exceeds the threshold, specify class (including threshold): <input type="checkbox"/> [specify class & threshold here] EIA is mandatory <input type="checkbox"/> No Screening required	
<input type="checkbox"/> Yes the project is of a type listed but is <i>sub-threshold</i> : <input type="checkbox"/> [insert here] Proceed to Part C	
C. If Yes , has Schedule 7A information/screening report been submitted?	
<input type="checkbox"/> Yes, Schedule 7A information/screening report has been submitted by the applicant Screening Determination required	
<input type="checkbox"/> No, Schedule 7A information/screening report has not been submitted by the applicant Preliminary Examination required	

Signature and Date of Recommending Officer:	<p> John Wallace A/Executive Planner 18/08/2025</p>
Signature and Date of the Decision Maker:	<p> Jennifer Collins, A/Senior Executive Planner Date: 18/08/25</p>



Comhairle Cathrach
& Contae **Luimníogh**
Limerick City
& County Council

Pleanáil, agus Cruthú Áite
Comhairle Cathrach agus Contae Luimníogh
Bothar Thuar an Daill
Tuar an Daill, Luimneach
V94 WV78

Planning and Place-Making
Limerick City and County Council
Dooradoyle Road
Dooradoyle, Limerick
V94 WV78

PLANNING & PLACE-MAKING

REG POST:

Sean Hanratty,
Rineroe,
Adare,
Co. Limerick,
V94 X62F.

EC/160/25

20 August 2025

Re: Declaration under Section 5

Dear Sir/Madam,

I refer to the above application for Section 5 Declaration on Development and Exempted Development.

Please find herewith a copy of Council's decision on same.

Yours faithfully,

C. Hanratty
(for) Senior Planner,
Development Management

Tuar an Daill, Luimneach
Dooradoyle, Limerick

✉ customerservices@limerick.ie
🌐 www.limerick.ie
🐦 @LimerickCouncil
📞 061 - 555 000

LIMERICK CITY & COUNTY COUNCIL

APPROVED OFFICER'S ORDER

SECTION 5 – DECLARATION ON DEVELOPMENT AND EXEMPTED DEVELOPMENT

No. AOO/DC/2025/882

File Ref No. EC/160/25

SUBJECT: Declaration under Section 5.
Planning and Development Act 2000 as amended
Planning and Development Regulations 2001 as amended

RE: **A repair works to the first floor front elevation at Rineroe, Adare, Co. Limerick.**

ORDER: Whereas by Director General's Order No. DG/2024/122 dated 27th November 2024, Dr. Pat Daly, Director General, Limerick City & County Council did, pursuant to the powers conferred on him by Section 154 of the Local Government Act, 2001, (as amended by the Local Government Reform Act, 2014 and the Local Government (Mayor of Limerick) and Miscellaneous Provisions Act, 2024), delegate unto Jennifer Collins, A/Senior Executive Planner the functions as defined in the Local Government Acts, 1925 to 2024.

Now therefore pursuant to the delegation of the functions aforesaid, I, Jennifer Collins, A/Senior Executive Planner, having considered the report and recommendation of John Wallace, A/Executive Planner dated 18/08/2025, hereby order that a Declaration under Section 5 of the Planning and Development Act 2000 (as amended) be issued to Sean Hanratty, Rineroe, Adare, Co. Limerick to state that the works as described above is

Development and is Exempt Development.

Signed



A/SENIOR EXECUTIVE PLANNER, PLANNING & PLACE-MAKING

Date

20/08/28

Certified to be a true copy of Approved Officer's Order, Planning & Development Order No. AOO/DC/2025/882 dated 20/08/28, pursuant to Section 151(7) of the Local Government Act 2001

Signed:



A/SENIOR EXECUTIVE PLANNER, PLANNING & PLACE-MAKING

d



SECTION 5 – DECLARATION ON DEVELOPMENT AND EXEMPTED DEVELOPMENT

DECLARATION NO.

EC/160/25

Name and Address of Applicant: Sean Hanratty, Rineroe, Adare, Co. Limerick.

Agent: Paul Carr, ProDraw Architecture, Ballinamona, Asketaon, Co. Limerick.

Whether the repair works to the first floor front elevation at Rineroe, Adare, Co. Limerick is or is not Development or is or is not Exempted Development. The works as described on the plans submitted with the application on the 29th of July 2025.

AND WHEREAS the Planning Authority has concluded that the repair works to the first floor front elevation at Rineroe, Adare, Co. Limerick **DOES** come within the scope of exempted development under Section 4(1) (h) of the Planning and Development Act 2000, as amended. See Report attached.

NOW THEREFORE the Planning Authority in exercise of the powers conferred on it by Section 5(2) (a) of the Planning and Development Act 2000 (as amended) hereby decides that the said development as described above is **Development and is Exempt Development**.

Signed on behalf of the said Council *Adine Keay*

Date: *20.8.2025*

NOTE: A Declaration on Development or Exemption issued by Limerick City & County Council may be referred to An Bord Pleanála on payment of €220 for review within 4 weeks after the issuing of the declaration.