



Limerick City & County Council
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23 JUL 2025
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Dooradoyle

LIMERICK CITY & COUNTY COUNCIL

PLANNING AND ENVIRONMENTAL SERVICES

SECTION 5 APPLICATION

DECLARATION ON DEVELOPMENT AND EXEMPTED DEVELOPMENT

Applicant's Name:

Jane Butler

Applicant's Address:

Fernan Franklin, Cappanore,
C. Limerick.

Telephone No. [REDACTED]

Name of Agent (if any):

Jenle D' Connor.

Address: AG Design,

Knockduff, Cullen, Mallow,
Co. Cork. PS1 1W1H

Telephone No. 087-4486052

agdesignplanning@gmail.com

Address for Correspondence:

Knockduff, Cullen, Mallow, Co. Cork. PS1NN84

Location of Proposed development:

Farmers Franklin, Cappanore, Co. Limerick.
194 PFT

Description of Proposed development:

The application for the exemption for the proposed stabled unit is under 'Type 3'. The proposed floor area = $99.4m^2$. Existing 'Type 3' building area = $119m^2$, therefore aggregate floor area = $218.4m^2$ which is under $300m^2$. The proposed height = 6.16m + it would be 12.9m from the road edge. (Please turn sheet over for details on proposed hay store).

Is this a Protected Structure or within the curtilage of a Protected Structure.
YES/NO

Applicant's interest in site: Owner

List of plans, drawings, etc. submitted with this application:

4 No. Copies - Site Layout Plan (Scale 1/500 + 1/800)
4 No. Copies - Rural Place Map (Scale 1/2500) + Record Place Map (1/10560)
4 No. Copies - Elevation, Section + Floorplan of Proposed Stabled Unit, (Scale 1/100)
1 No. Copies - Elevation, Section + Floorplan of Proposed Hay Store (Scale 1/200)
Letters of Consent from neighbours within 100m.

Have any previous extensions/structures been erected at this location YES/NO

If Yes please provide floor areas of all existing structures:

Dry Store 19m²

Dry Store 125m²

Stabled Unit 195m²

Signature of Applicant (or Agent)

Denis O'Connor (Agent)

The application for the proposed hay store is under 'Type 4'. The proposed floor area = $119m^2$. Existing 'Type 4' structures area = $144m^2$. Total aggregate floor area = $263m^2$ which is under the $900m^2$ threshold. The proposed height = 5.65m and it would be more than 10m from the road edge.

There are 3 no. third party dwellings within 100m. Please find enclosed letters of consent from these neighbours.

We hope that we have complied with all requirements for this Section 5 application.

Kind regards,

Denis J. Conne (Agent)

NOTES: Application must be accompanied by:

- (a) Fee of €80
- (b) Site location map
- (c) Site layout plan
- (d) Dimensioned plans and elevations of the structure and any existing structures.
- (e) Where the declaration is in respect of a farm building, a layout identifying the use of each existing building together with floor area of each building.

Application to be forwarded to:

Limerick City & County Council,
Planning and Environmental Services,
City & County Council Offices,
Dooradoyle Road,
Limerick.

OFFICE USE ONLY

Ref. No. _____ Date Received _____

Fee Received _____ Date Due _____

Letter of consent.

I, John Doyle, am the owner of "Dwelling House B" indicated on Site Layout scale 1/800.

I have no objection to my neighbour Jamie Butler's application for a Section 5 planning exemption for:

- (i) A Slatted Unit.
- (ii) A Straw / Hay Store.

Kind regards,

John Doyle.

Farnane,

Cappamore, Co. Limerick.



14/05/2025

Letter of consent.

I, Philip O' Brien, am the owner of "Dwelling House C" indicated on Site Layout scale 1/800.

I have no objection to my neighbour Jamie Butler's application for a Section 5 planning exemption for:

- (i) A Slatted Unit.
- (ii) A Straw / Hay Store.

Kind regards,

Philip O' Brien.

Farnane,

Cappamore, Co. Limerick.

Philip O'Brien

14/05/2025

Letter of Consent

I, Anna Nolan , am the owner of “dwelling House A “ indicated on Site Layout scale 1/800.

I have no objection to my neighbour Jamie Butler’s application for a section 5 planning exemption for:

- (1) A slatted Unit
- (2) A straw / Hay Store

Kind Regards

A handwritten signature in black ink, appearing to read "Anna Nolan".

Anna Nolan

Farnane

Cappamore

Co Limerick

V94 T9RH

Eircode - V94PF7T
Herd No. - M1291718

PLANNING PERMISSION
DRAWINGS ONLY.

Drawings for planning purposes only.
A competent project supervisor must be appointed before commencement of work.
All structural elements (roof, walls, steel beams, foundations etc.) to be agreed with suitably qualified certifier prior to the commencement of works.
Client & contractor must clarify all design elements, measurements and scope of the project before commencement.

Contractors or anybody carrying out any work within an excavation need to ensure that the side banks are at the proper gradient consistent with the soil structure to ensure a safe working environment for all personnel.

If excavation is to take place near to existing buildings, then if required, existing building should be dismantled so as to provide a safe working environment for all personnel.

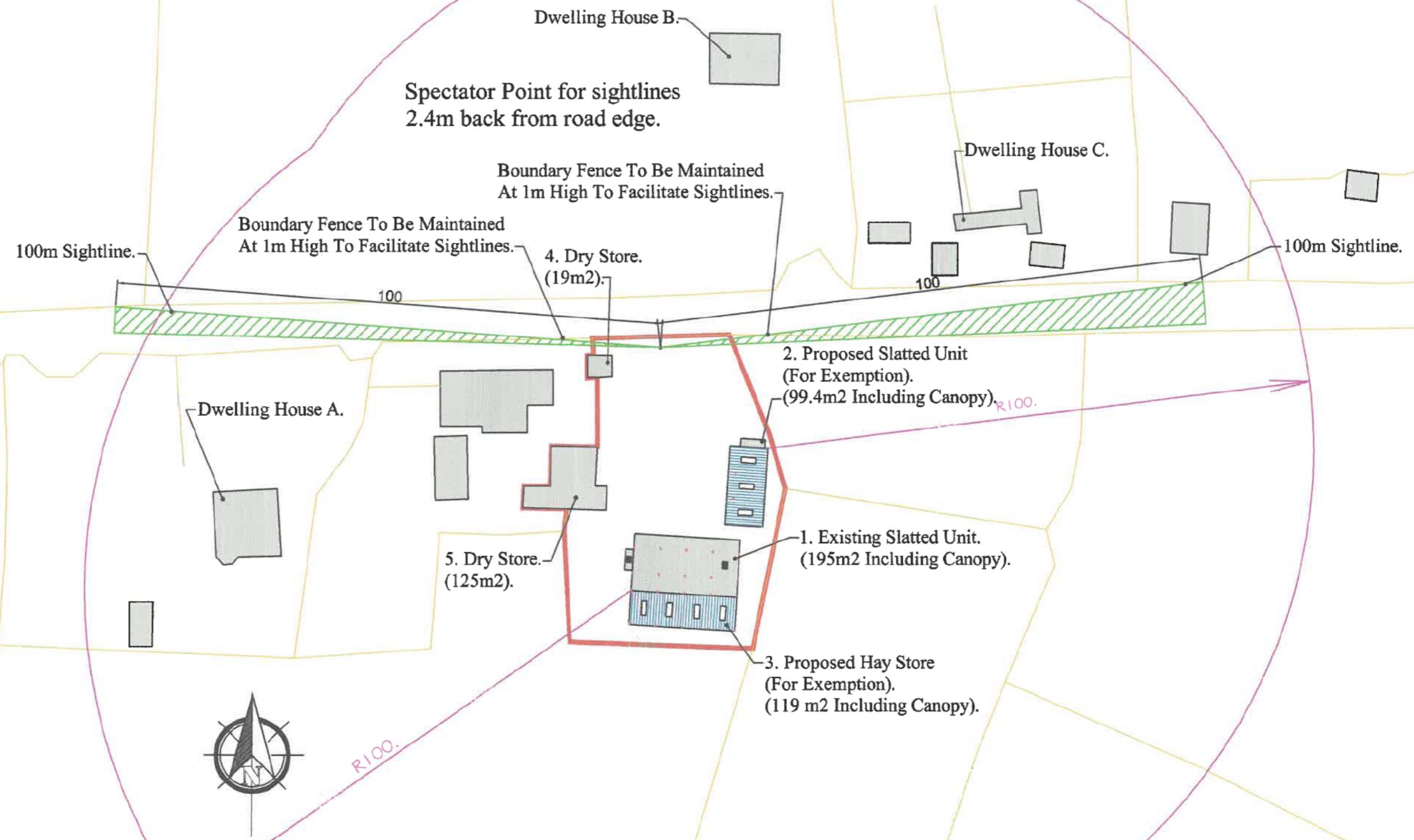
It is the builders responsibility to ensure all excavation is safe.

Plans do not purport to show all information required for compliance with building regulations.

No responsibility is accepted by Denis O'Connor for works completed below the minimum requirements of current Irish Building Regulations.

Builder to ensure all work is carried out to current specifications, regulations & is TAMS II Building Grant compliant.

All construction to be of Department of Agriculture & Food S101 & S123 Minimum Specification for the Structure of Agricultural Buildings.



 **AG Design**

APPLICANT:
Jamie Butler,
Farnanefranklin, Cappamore,
Co. Limerick.

PLANS:
D. O'Connor. B.Tech.
Agri Design Services.
087-4486052

TITLE:
Proposed Site Layout.

SCALE: 1/800. **UNITS:** Metres.

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PLANNING PERMISSION DRAWINGS ONLY.

Eircode - V94PF7T
Herd No. - M1291718

SITE LAYOUT



APPLICANT:
Jamie Butler,
Farnane Franklin, Cappamore,
Co. Limerick.

PLANS:
D. O'Connor. B.Tech.
Agri Design Services.
087-4486052

TITLE:
Proposed Slatted Unit +
HAY STORE

SCALE: 1/500 UNITS: Metres.

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Entrance.

4. Dry Store.

2. Proposed Slatted Unit
(For Exemption).

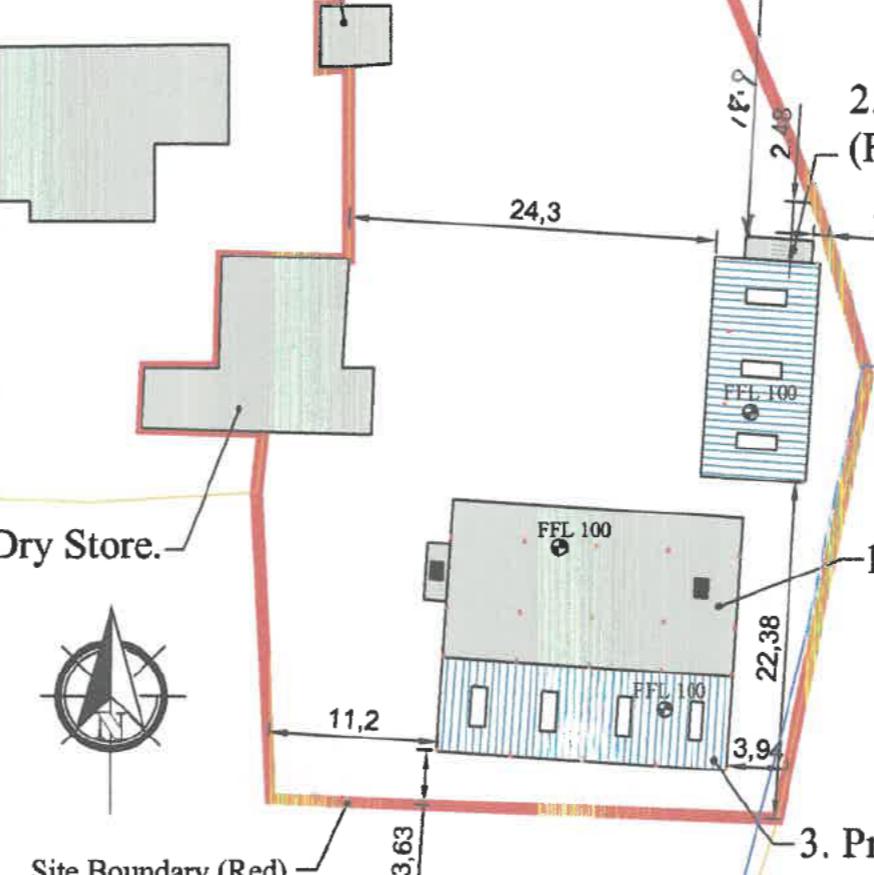
5. Dry Store.

1. Existing Slatted Unit.

3. Proposed Hay Store.

Site Boundary (Red).
Site Area 1986 m²
(0.1986 Ha).

Surface Drain To Be Piped
Within Min 20m Of Proposed
Slatted Unit.



Site Location Map

 Táin Éireann

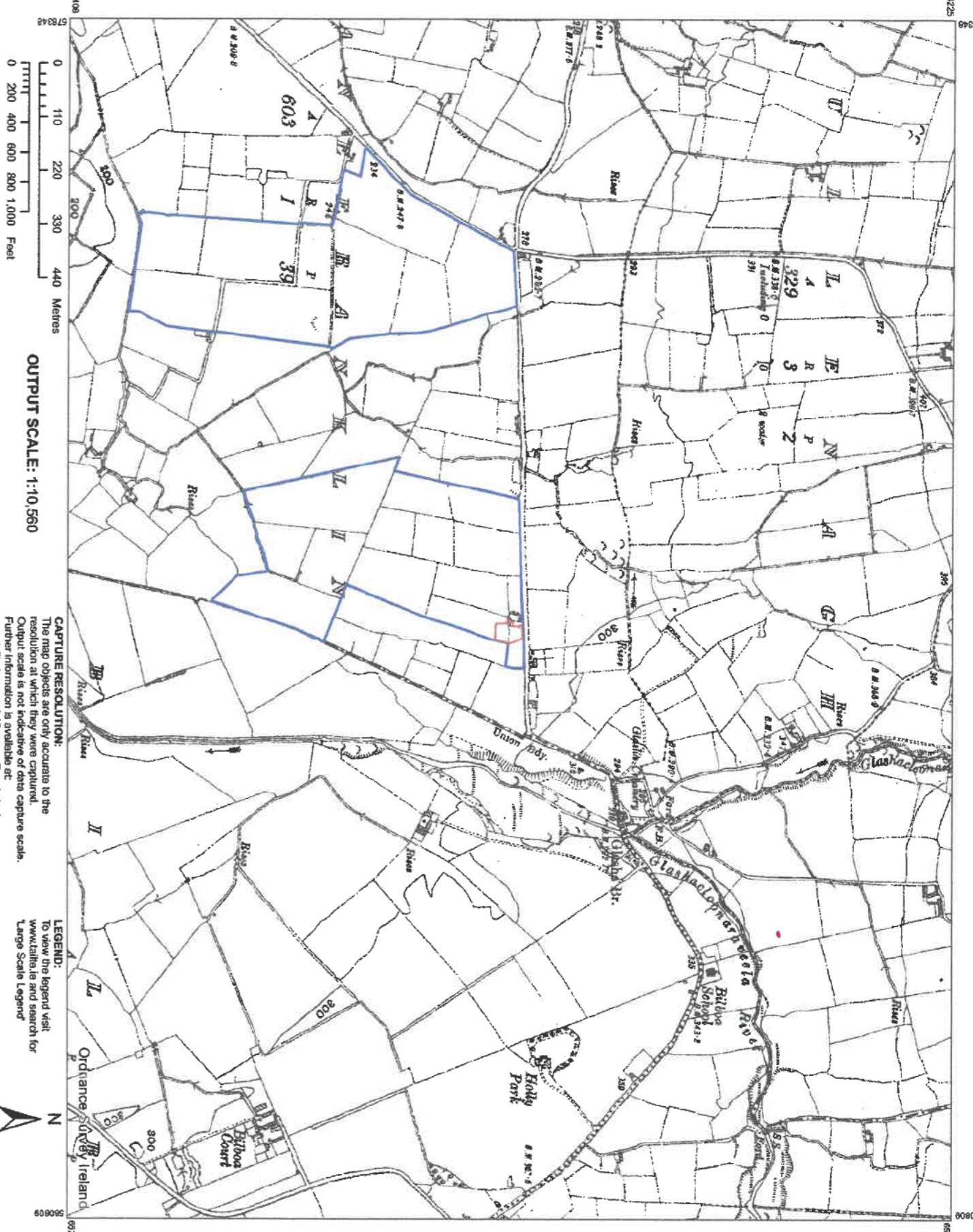
CENTRE
COORDINATES:
ITM 579579, 653317

PUBLISHED: ORDER NO.:
14/05/2025 5046230_1

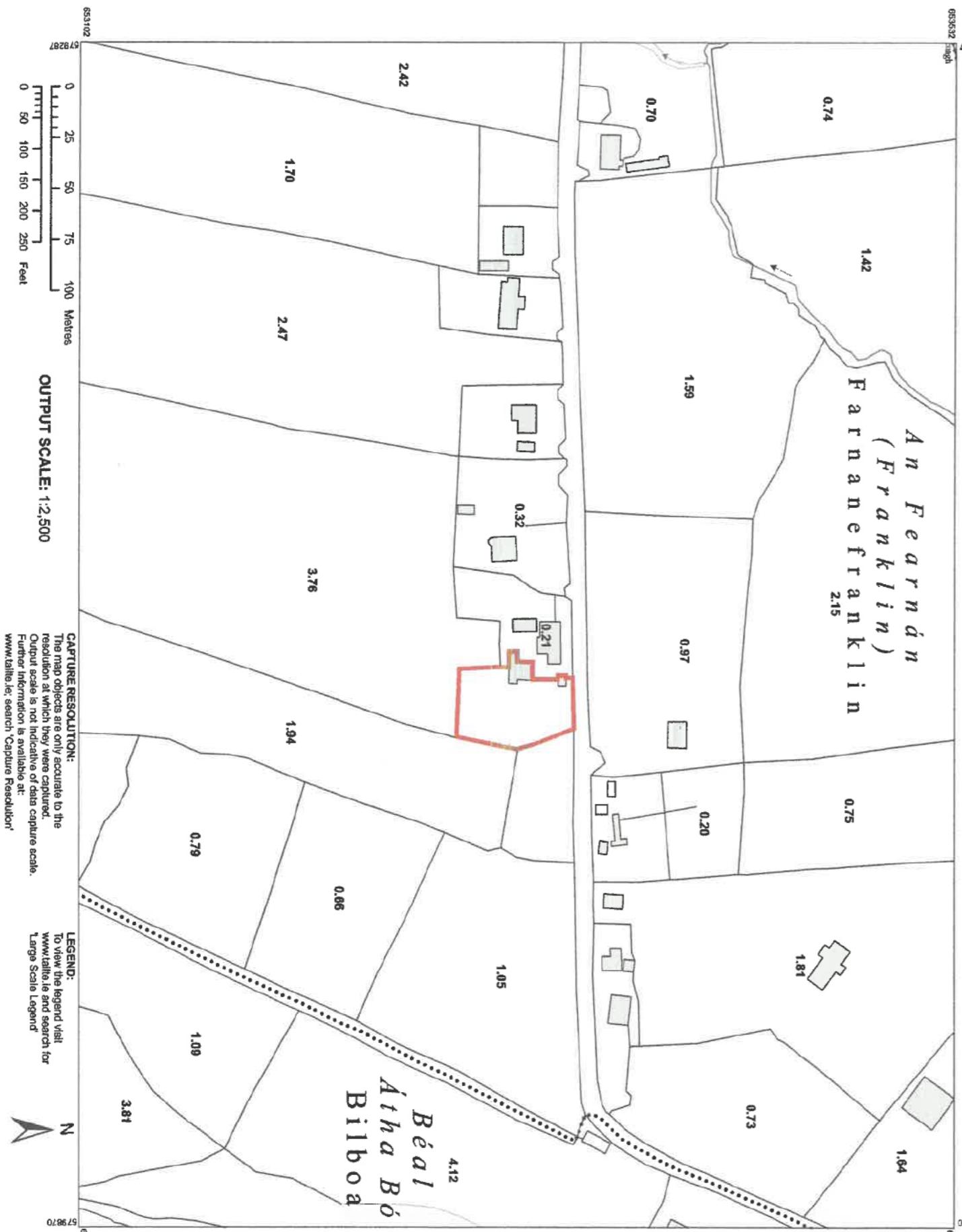
MAP SERIES: MAP SHEETS:
6 Inch Raster LK015 TY044
6 Inch Raster D08F6E4

COMPILED AND PUBLISHED BY:
Táin Éireann,
Phoenix Park,
Dublin 8,
Ireland.
D08F6E4

www.tain.ie



Planning Pack Map



 Táin Éireann

COMPILED AND PUBLISHED BY:
Táin Éireann,
Phoenix Park,
Dublin 8,
Ireland.
D08F6E4

www.tain.ie

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Farnanefranklin, Cappamore,
Co. Limerick.

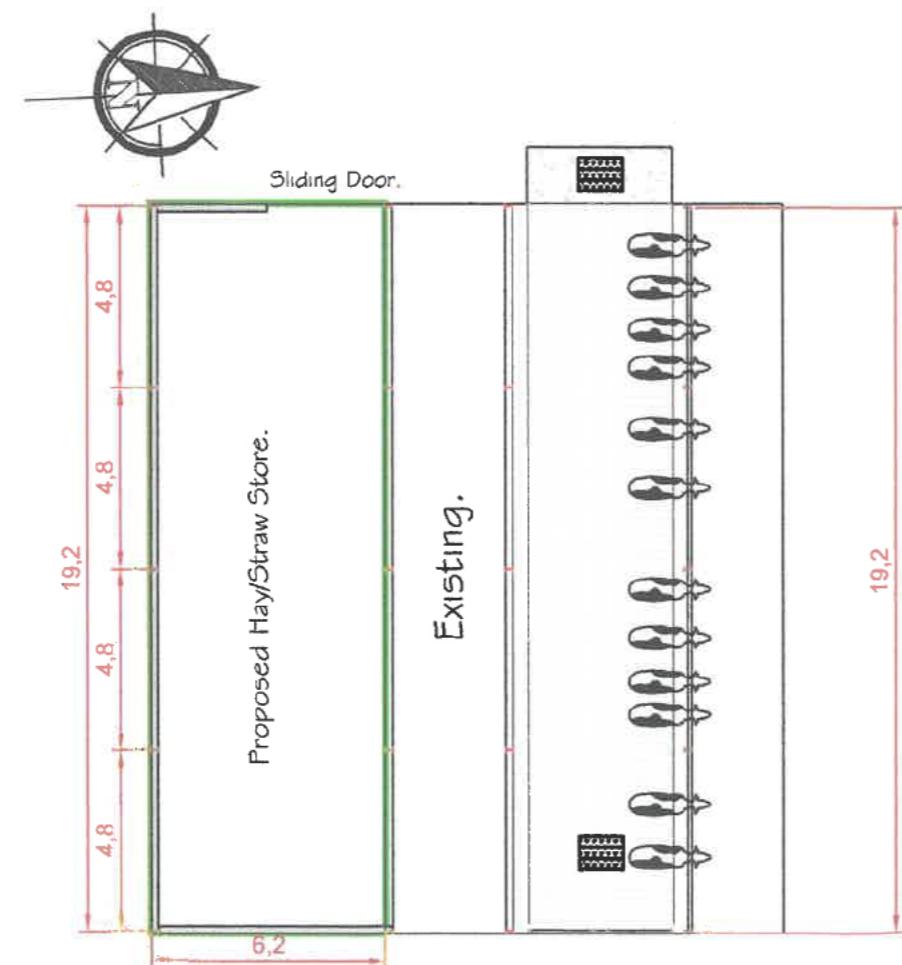
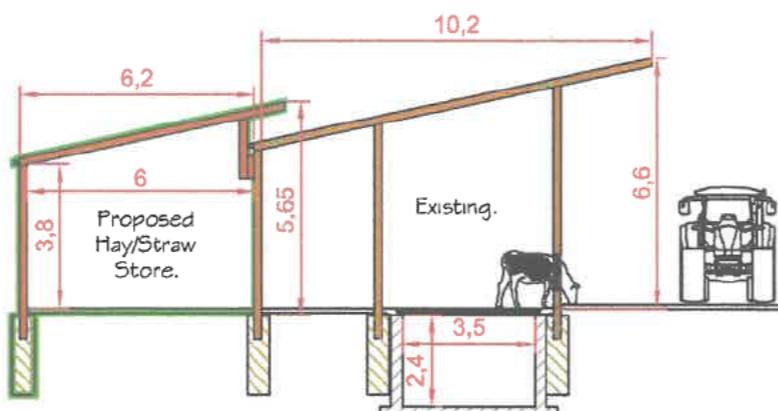
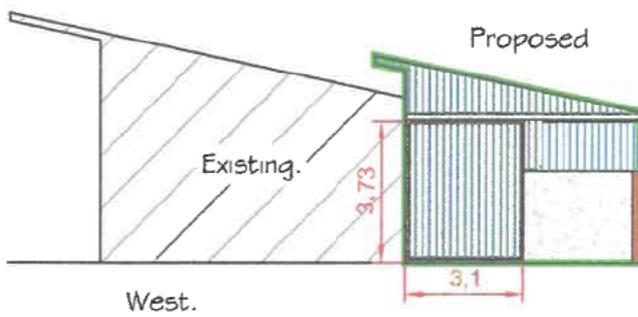
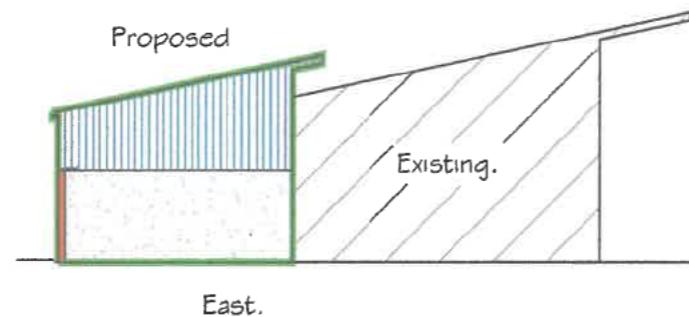
PLANS:
D. O' Connor. B.Tech.
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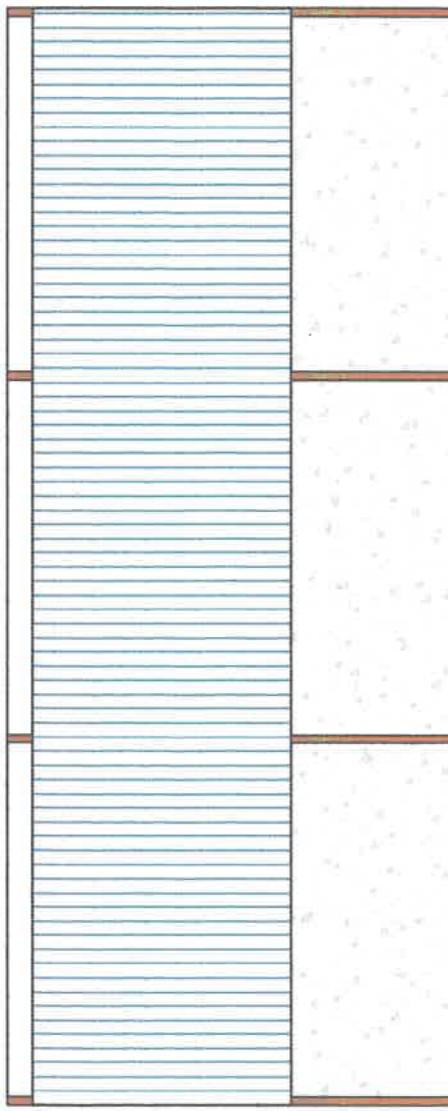
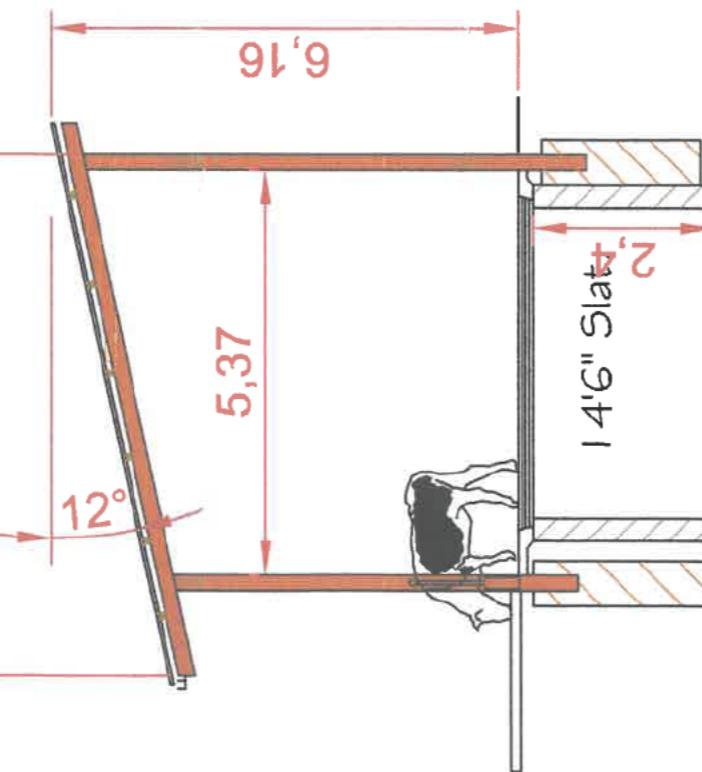
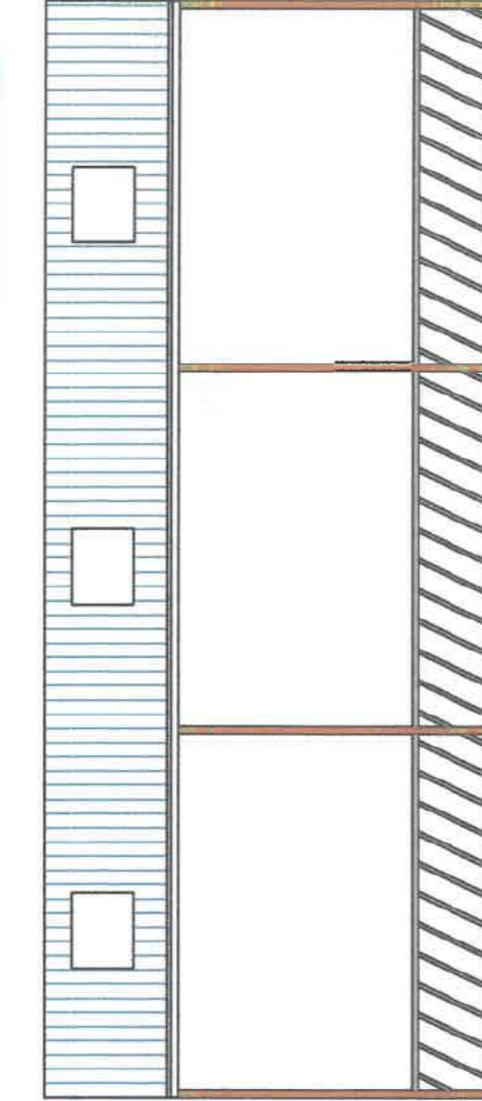
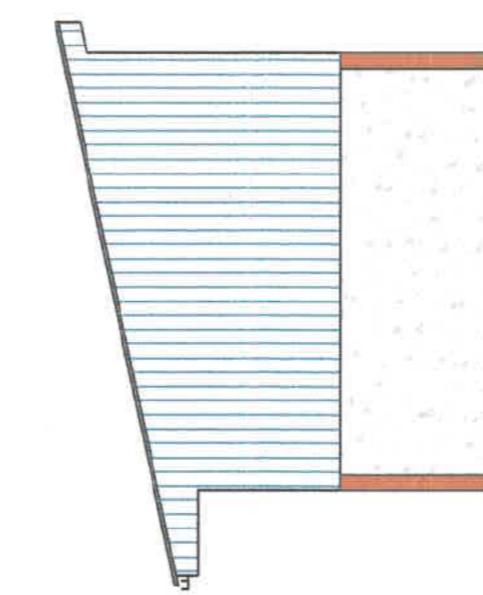
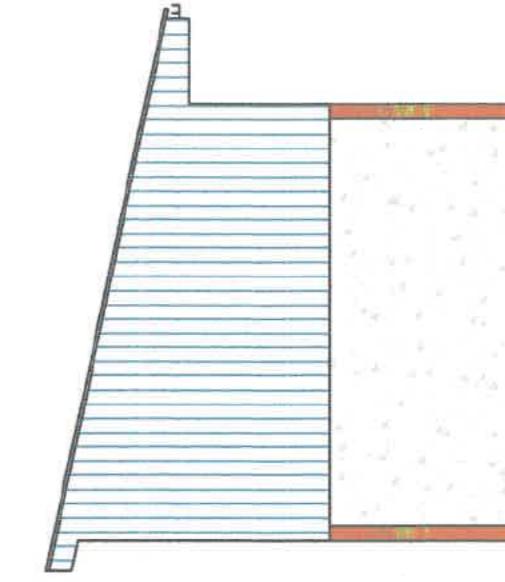
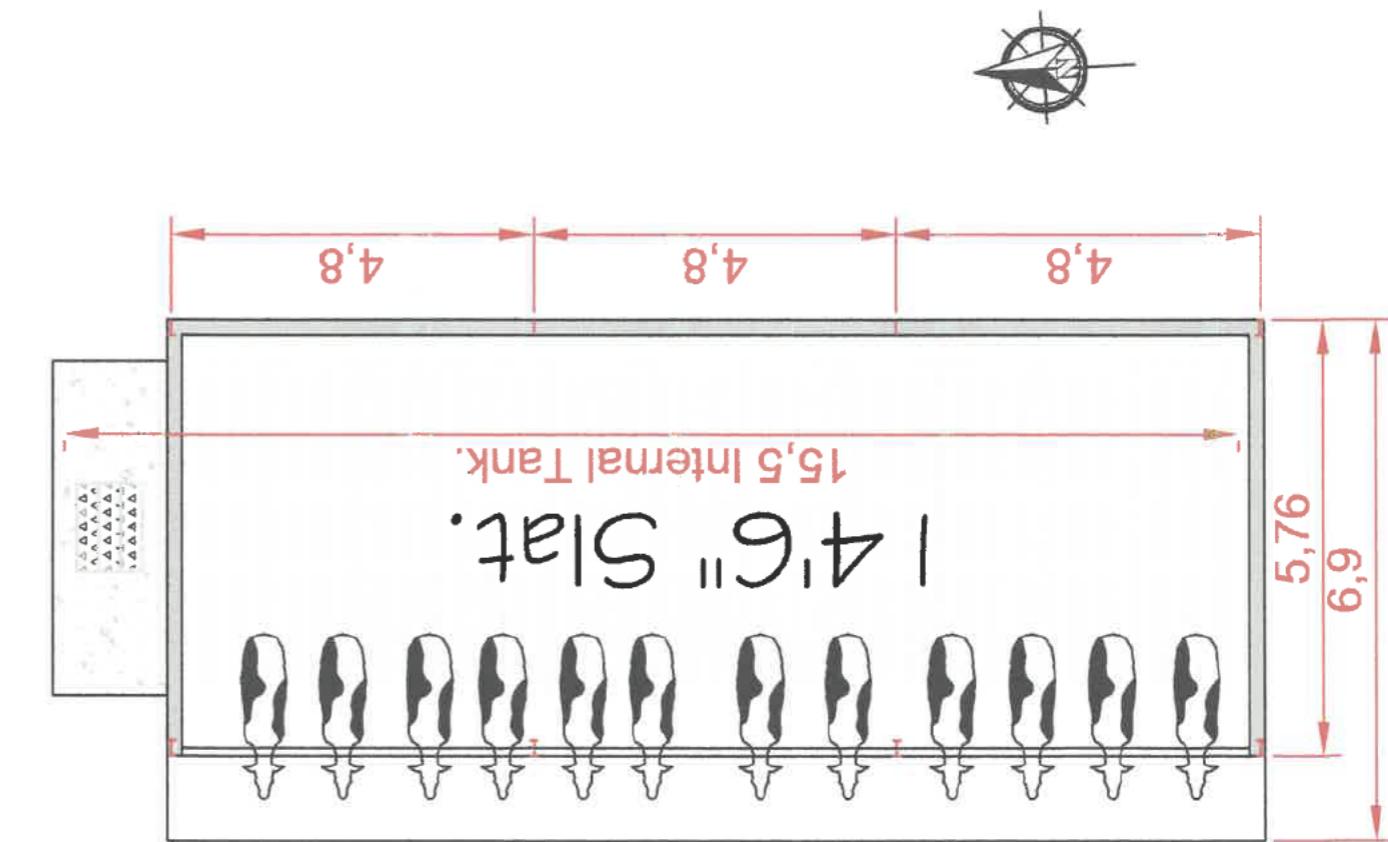
TITLE:
Proposed Slatted Unit.

SCALE: 1/200 UNITS: Metres.

Proposed Indicated With

Eircode - V94PF77
Herd No. - M1291718




East.

Section.

West.

South.

North.


APPLICANT:
Jamie Butler,
Farnanefrankin, Cappamore,
Co. Limerick.

PLANS: D. O' Connor. B. Tech.
Agri Design Services.
087-4486052

TITLE: Proposed Slatted Unit.

SCALE: 1/100 **UNITS:** Metres.

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CATHRACH & CONTAE
Luimnigh
Limerick
CITY & COUNTY
COUNCIL

LIMERICK CITY & COUNTY COUNCIL
CASH OFFICE
CIVIC OFFICES
DOORADOYLE
CO LIMERICK

23/07/2026 12:23:12

Receipt No./
Uimhir Admhála : LA25/0/25179417
***** REPRINT *****

Denis O'Connor
Knockduff
Cullen
Mallow
Co Cork
Re : Jamie Butler
Farnanefranklin, Cappamore

| | |
|------------------------|-------|
| EXEMPTION CERTIFICATES | 80.00 |
| GOODS | 80.00 |
| VAT Exempt/Non-vatable | |

Total/Toimlán : 80.00 EUR

Tendered/Tairgthe :
Cheque 80.00
A.I.B.
500707

Change/Soinseáil : 0.00

Issued By/
Eisithe ag : Mary Healy
From/Ó : CASH OFFICE HQ
Vat reg No./Cláruimhir CBL: 32673681H

Report on application under Section 5 of the Planning and Development Act 2000 (as amended)

Reference no. EC-158-25

Name and Address of Applicant: Jamie Butler,
Faranefranklin,
Cappamore,
Kilmallock,
Co. Limerick.

Agent: Denis O'Connor,
Knockduff,
Cullen, Mallow,
Co. Cork.

Location: Faranefranklin,
Cappamore,
Kilmallock,
Co. Limerick

Description of Site and Surroundings:

The site consists of an agricultural holding located in the townland of Faranefranklin circa 3.2km northeast of Cappamore town along local road L5024. The site encompasses two existing dry store agricultural buildings and a slatted unit within its boundary. The surrounding land is predominantly in agricultural in use with intermittent housing. Letters from neighbouring property owners noting they have no objection to the proposed development have been submitted with the application.

Zoning:

N/A

Proposal:

This is an application requesting a Section 5 Declaration on whether the following works are or are not development or are or not exempted development:

- 1) Construction of a slatted unit - 99.4m²**
- 2) Construction of a hay shed – 119m²**

This Section 5 declaration includes the following:

- Application Form
- Site location map
- Site Plan
- Dimensions of plans and elevations of the structure and ant existing structures
- A layout identifying the use of each existing building and floor area

Planning History:

93/767 - Erection of domestic extension and alterations. Granted conditionally.

13/485 - Pet farm including the conversion of existing agricultural buildings to reception/toilet facilities, stores and covered seating area, new entrance, car parking, walkways and landscaping and all associated site works including new septic tank and percolation area. Granted conditionally.

Enforcement History

N/A

Relevant An Bord Pleanála referrals

N/A

Assessment

Consideration as to whether a development constitutes exempted development or not is governed by Sections 4 and 5 of the Planning and Development Act 2000 (as amended) and Articles 5, 6, 7, 8, 9, 10 and 11 of the Planning and Development Regulations 2001 (as amended).

Is the proposal development?

Section 2(1) in this Act, except where otherwise requires –

‘works’ includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal.

‘structure’ as any building, structure, excavation, or other thing constructed or made on, in or under any land, or part of a structure so defined, and –

(a) Where the context so admits, includes the land on, in or under which the structure is situated.

Section 3(1) defines ‘development’ as ‘the carrying out of any works on, in, over or under land or the making of any material change in the use of any structures or other land’.

The proposed development on site, comprising the construction of a slatted tank unit and proposed hay shed constitutes ‘works’ and ‘development’.

Is the proposal exempted development?

1) Construction of a slatted unit - 99.4m²

The proposal for the construction of a slatted unit will be assessed under Class 6 of Part 3 of Schedule 2 of the Planning and Development Regulations 2001 (as amended).

Class 6

Works consisting of the provision of a roofed structure for the housing of cattle, sheep, goats, donkeys, horses, deer or rabbits, having a gross floor space not exceeding 200 square metres (whether or not by extension of an existing structure), and any ancillary provision for effluent storage.

1. No such structure shall be used for any purpose other than the purpose of agriculture.

The proposed structure is for agricultural use.

2. The gross floor space of such structure together with any other such structures situated within the same farmyard complex or within 100 metres of that complex shall not exceed 300 square metres gross floor space in aggregate.

Having regard to submitted documentation, the aggregate floor area of the proposed development together with existing sheds is below the threshold.

3. Effluent storage facilities adequate to serve the structure having regard to its size, use and location shall be constructed in line with Department of Agriculture, Food and Rural Development and Department of the Environment and Local Government requirements and shall have regard to the need to avoid water pollution.

N/A

4. No such structure shall be situated, and no effluent from such structure shall be stored, within 10 metres of any public road.

The proposed structure is situated in excess of 10m from the public road.

5. No such structure within 100 metres of any public road shall exceed 8 metres in height.

The propose structures height is less than 8 metres.

6. No such structure shall be situated, and no effluent from such structure shall be stored, within 100 metres of any house (other than the house of the person providing the structure) or other residential building or school, hospital, church or building used for public assembly, save with the consent in writing of the owner and, as may be appropriate, the occupier or person in charge thereof.

Consent from adjoining property owners within 100m of the development has been submitted.

7. No unpainted metal sheeting shall be used for roofing or on the external finish of the structure.

Noted

The proposal for a slatted unit complies with the limitations as set out in Class 6 of Part 3 of Schedule 2 of the Planning and Development Regulations, 2001, as amended.

2) Construction of a hay shed – 119m²

The proposal for the construction of a hay shed will be assessed under Class 9 of Part 3 of Schedule 2 of the Planning and Development Regulations 2001 (as amended).

Class 9

Works consisting of the provision of any store, barn, shed, glass-house or other structure, not being of a type specified in class 6, 7 or 8 of this Part of this Schedule, and having a gross floor space not exceeding 300 square metres.

1. No such structure shall be used for any purpose other than the purpose of agriculture or forestry, but excluding the housing of animals or the storing of effluent.

The proposed structure is for agricultural use.

2. The gross floor space of such structures together with any other such structures situated within the same farmyard complex or complex of such structures or within 100 metres of that complex shall not exceed 900 square metres gross floor space in aggregate.

The proposed gross floor area of 263m² is below the threshold.

3. No such structure shall be situated within 10 metres of any public road.

The proposed structure is situated in excess of 10m from the public road.

4. No such structure within 100 metres of any public road shall exceed 8 metres in height.

The proposed structure height of 5.65m is less than 8 metres.

5. No such structure shall be situated within 100 metres of any house (other than the house of the person providing the structure) or other residential building or school, hospital, church or building used for public assembly, save with the consent in writing of the owner and, as may be appropriate, the occupier or person in charge thereof.

Consent from adjoining property owners within 100m of the development has been submitted.

6. No unpainted metal sheeting shall be used for roofing or on the external finish of the structure.

Noted.

The proposal for a hay shed complies with the limitations as set out in Class 9 of Part 3 of Schedule 2 of the Planning and Development Regulations, 2001, as amended.

Article 9 Restrictions

The proposed development is not restricted by any of the restrictions in Article 9 of the Planning and Development Regulations 2001 (as amended).

Appropriate Assessment

An AA Screening examination has been undertaken (see Appendix 1). Overall it is considered that the development as proposed should not exercise a significant effect on the conservation status of any SAC or SPA as there are no source-pathway-receptors and the site does not directly encroach on any Natura 2000 European Sites. Therefore, an Appropriate Assessment is not necessary (See appendix 1 for AA Screening Form).

Environmental Impact Assessment

An EIA Screening examination has been undertaken (see Appendix 2). Based on a preliminary examination of the proposal, there is no real likelihood of significant effects on the environment and EIA is not required.

Conclusion/Recommendation

The development detailed on the application and plans submitted is considered to be development which is exempted development under Class 8 of the Planning and Development Regulations 2001, as amended.

Regard has been had to –

- (a) Section 2, 3 and 4 of the Planning and Development Act 2000 (as amended)
- (b) Class 6 and Class 9 of Schedule 2 of the Planning and Development Regulations 2001 (as amended)
- (c) The plans & particulars submitted with the application received on 23rd day of July 2025.

It is therefore considered that the said works are development and exempted development.

John Wallace

John Wallace
A/Executive Planner

Date 18/08/2025

Jennifer Collins

Jennifer Collins
A/Senior Executive Planner

Date: 18/08/2025

Appendix 1- AA Screening examination
AA PN01 Screening Form

| STEP 1: Description of the project/proposal and local site characteristics: | |
|--|--|
| a. File Reference No: | EC-138-25 |
| b. Brief description of the project or plan: | This is an application requesting a Section 5 Declaration on whether the construction of a slatted tank and hay shed is exempted development |
| c. Brief description of site characteristics: | The site is an existing agricultural yard |
| d. Relevant prescribed bodies consulted: e.g. DHLGH (NPWS), EPA, OPW | N/A |
| e. Response to consultation: | N/A |

| STEP 2: Identification of relevant Natura 2000 sites using Source-Pathway-Receptor model and compilation of information on Qualifying Interests and conservation objectives. | | | | |
|---|---|---|---|--|
| European Site (code) | List of Qualifying Interest/Special Conservation Interest ¹ | Distance from proposed development ² (km) | Connections (Source-Pathway-Receptors) | Considered further in screening Y/N |
| 002165 | Lower River Shannon SAC https://www.npws.ie/protected-sites/sac/002165 | c0.25km | None | N |
| 004165 | Slievefelim to Silvermines Mountains SPA https://www.npws.ie/protected-sites/spa/004165 | c1.54km | None | N |
| 002137 | Lower River Suir SAC https://www.npws.ie/protected-sites/sac/002137 | c11.90km | None | N |
| 001847 | Philipston Marsh SAC https://www.npws.ie/protected-sites/sac/001847 | c11.56km | None | N |

| STEP 3: Assessment of Likely Significant Effects | |
|--|--|
| Impacts: | Possible Significance of Impacts: (duration/Magnitude etc) |
| Construction phase e.g <ul style="list-style-type: none"> • Vegetation clearance • Demolition • Surface water runoff from soil excavation/infill/landscaping (including borrow pits) • Dust, noise, vibration • Lighting disturbance | None. Works are minimal and will involve temporary construction works; therefore, no likely significant impact on the conservation objectives of the above named site. |

| | |
|--|---|
| <ul style="list-style-type: none"> • Impact on groundwater/dewatering • Storage of excavated/construction materials • Access to site • Pests | |
| Operation phase e.g. <ul style="list-style-type: none"> • Direct emission to air and water • Surface water runoff containing contaminant or sediment • Lighting disturbance • Noise/vibration • Changes to water/groundwater due to drainage or abstraction • Presence of people, vehicles and activities • Physical presence of structures (e.g collision risk) • Potential for accidents or incidents | None works are minimal and will involve temporary construction works; therefore, no likely significant impact on the conservation objectives of the above named site. |
| In-combination/Other | N/A given the level of development |

| | |
|--|--|
| b. Describe any likely changes to the European site: | |
| Examples of the type of changes to give consideration to include: <ul style="list-style-type: none"> • Reduction or fragmentation of habitat area • Disturbance to QI species • Habitat or species fragmentation • Reduction or fragmentation in species density • Changes in key indicators of conservation status value (water or air quality etc) • Changes to areas of sensitivity or threats to QI • Interference with the key relationships that define the structure or ecological function of the site | None. Works are minimal and will involve temporary construction works; therefore, no likely significant impact on the conservation objectives of the above named site. |

| |
|--|
| c. (Are 'mitigation' measures necessary to reach a conclusion that likely significant effects can be ruled out at screening?) |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |

| |
|--|
| STEP 4: Screening Determination Statement |
| The assessment of significance of effects: |
| Describe how the proposed development (alone or in-combination is/is not likely to have significant effects on European site (s) in view of its conservation objectives |
| On the basis of the information on file, which is considered adequate to undertake a screening determination and having regard to: |

- the nature and scale of the proposed development,
- the intervening land uses and distance from European sites,
- the lack of direct connections with regard to the Source-Pathway-Receptor model,

it is concluded that the proposed development, individually or in-combination with other plans or projects, would not be likely to have a significant effect on the above listed European sites or any other European site, in view of the said sites' conservation objectives. An appropriate assessment is not, therefore, required.

Conclusion:

AA Screening is not required.

| | Tick as appropriate: | Recommendation: |
|---|---|--|
| i. It is clear that there is no likelihood of significant effects on a European Site | <input checked="" type="checkbox"/> | The proposal can be screened out: Appropriate Assessment not required. |
| ii. It is uncertain whether the proposal will have a significant effect on a European Site | <input type="checkbox"/> | <input type="checkbox"/> Request further information to complete screening <input type="checkbox"/> Request NIS <input type="checkbox"/> Refuse planning permission |
| iii. Significant effects are likely | <input type="checkbox"/> | <input type="checkbox"/> Request NIS <input type="checkbox"/> Refuse planning permission |
| Signature and Date of Recommending Officer: |  <hr/> John Wallace A/Executive Planner 18/08/2025 | |
| Signature and Date of the Decision Maker: |  <hr/> Jennifer Collins, A/Senior Executive Planner 18/08/2025 | |

Appendix 2 – EIA Screening

| Establishing if the proposal is a 'sub-threshold development': | | |
|---|--|---|
| Planning Register Reference: | EC-158-25 | |
| Development Summary: | the construction of slatted tank and hay shed | |
| Was a Screening Determination carried out under Section 176A-C? | <input type="checkbox"/> Yes. no further action required <input checked="" type="checkbox"/> No. Proceed to Part A | |
| A. Schedule 5 Part 1 - Does the development comprise a project listed in Schedule 5, Part 1 , of the Planning and Development Regulations 2001 (as amended)? (Tick as appropriate) | | |
| <input type="checkbox"/> Yes. specify class: [insert here] _____ | | EIA is mandatory <input type="checkbox"/> No Screening required |
| <input checked="" type="checkbox"/> No | | Proceed to Part B |
| B. Schedule 5 Part 2 - Does the development comprise a project listed in Schedule 5, Part 2 , of the Planning and Development Regulations 2001 (as amended) and does it meet/exceed the thresholds? (Tick as appropriate) | | |
| <input checked="" type="checkbox"/> No. the development is not a project listed in Schedule 5, Part 2 | | No Screening required |
| <input type="checkbox"/> Yes the project is listed in Schedule 5, Part 2 and meets/exceeds the threshold, specify class (including threshold): [specify class & threshold here] | | EIA is mandatory <input type="checkbox"/> No Screening required |
| <input type="checkbox"/> Yes the project is of a type listed but is <i>sub-threshold</i> : [insert here] _____ | | Proceed to Part C |
| c. If Yes , has Schedule 7A information/screening report been submitted? | | |
| <input type="checkbox"/> Yes, Schedule 7A information/screening report has been submitted by the applicant | | Screening Determination required |
| <input type="checkbox"/> No, Schedule 7A information/screening report has not been submitted by the applicant | | Preliminary Examination required |
| Signature and Date of Recommending Officer: | |  John Wallace A/Executive Planner 18/08/2025 |

Signature and Date of the Decision Maker:



**Jennifer Collins,
A/Senior Executive Planner
18/08/2025**



Comhairle Cathrach
& Contae **Luimnigh**
Limerick City
& County Council

Pleanáil, agus Cruthú Áite
Comhairle Cathrach agus Contae Luimnigh
Bothar Thuar an Daill
Tuar an Daill, Luimneach
V94 WV78

Planning and Place-Making
Limerick City and County Council
Dooradoyle Road
Dooradoyle, Limerick
V94 WV78

PLANNING & PLACE-MAKING

REG POST:

Jamie Butler,
c/o Denis O'Connor,
Knockduff,
Cullen,
Mallow,
Co. Cork.

EC/158/25

18 August 25 2025

Re: Declaration under Section 5

Dear Sir/Madam,

I refer to the above application for Section 5 Declaration on Development and Exempted Development.

Please find herewith a copy of Council's decision on same.

Yours faithfully,

Karen Butler
(for) Senior Planner,
Development Management

Tuar an Daill, Luimneach
Dooradoyle, Limerick

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061 - 556 000

LIMERICK CITY & COUNTY COUNCIL

APPROVED OFFICER'S ORDER

SECTION 5 – DECLARATION ON DEVELOPMENT AND EXEMPTED DEVELOPMENT

No. AOO/DC/2025/876

File Ref No. EC/158/25

SUBJECT: Declaration under Section 5.
Planning and Development Act 2000 as amended
Planning and Development Regulations 2001 as amended

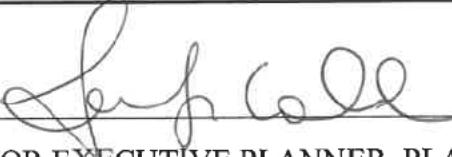
RE: **A construction of a slatted unit & hay shed at Faranefranklin, Cappamore, Kilmallock, Co. Limerick**

ORDER: Whereas by Director General's Order No. DG/2024/122 dated 27th November 2024, Dr. Pat Daly, Director General, Limerick City & County Council did, pursuant to the powers conferred on him by Section 154 of the Local Government Act, 2001, (as amended by the Local Government Reform Act, 2014 and the Local Government (Mayor of Limerick) and Miscellaneous Provisions Act, 2024), delegate unto Jennifer Collins, A/Senior Executive Planner the functions as defined in the Local Government Acts, 1925 to 2024.

Now therefore pursuant to the delegation of the functions aforesaid, I, Jennifer Collins, A/Senior Executive Planner, having considered the report and recommendation of John Wallace, A/Executive Planner dated 18/08/2025, hereby order that a Declaration under Section 5 of the Planning and Development Act 2000 (as amended) be issued to Jamie Butler, c/o Denis O'Connor, Knockduff, Cullen, Mallow, Co. Cork to state that the works as described above is

Development and is Exempt Development. *JK*

Signed



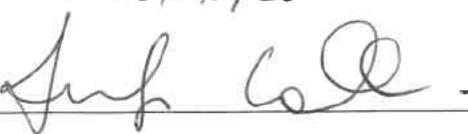
A/SENIOR EXECUTIVE PLANNER, PLANNING & PLACE-MAKING

Date

18/08/25

Certified to be a true copy of Approved Officer's Order, Planning & Development Order No. AOO/DC/2025/876 dated 18/08/25, pursuant to Section 151(7) of the Local Government Act 2001

Signed:



A/SENIOR EXECUTIVE PLANNER, PLANNING & PLACE-MAKING



SECTION 5 – DECLARATION ON DEVELOPMENT AND EXEMPTED DEVELOPMENT

DECLARATION NO.

EC/158/25

Name and Address of Applicant: Jamie Butler, Faranefranklin, Cappamore, Kilmallock, Co. Limerick.

Agent: Denis O'Connor, Knockduff, Cullen, Mallow, Co. Cork.

Whether the construction of a slatted unit & hay shed at Faranefranklin, Cappamore, Kilmallock, Co. Limerick is or is not Development or is or is not Exempted Development. The works as described on the plans submitted with the application on the 23rd of July 2025.

AND WHEREAS the Planning Authority has concluded that the construction of a slatted unit & hay shed at Faranefranklin, Cappamore, Kilmallock, Co. Limerick **DOES** come within the scope of exempted development under Class 8 of the Planning and Development Regulations 2001, as amended. See Report attached.

NOW THEREFORE the Planning Authority in exercise of the powers conferred on it by Section 5(2) (a) of the Planning and Development Act 2000 (as amended) hereby decides that the said development as described above is **Development and is Exempt Development**.

Signed on behalf of the said Council

Karen Conlon

Date: 18/08/25

NOTE: A Declaration on Development or Exemption issued by Limerick City & County Council may be referred to An Bord Pleanála on payment of €220 for review within 4 weeks after the issuing of the declaration.