

HOUSING DEVELOPEMENT AT 7A GREENHILL ROAD, LIMERICK

PLANNING DRAWINGS

JOB NO. 1725

SEPTEMBER 2019

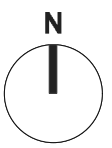
PAUL KEOGH ARCHITECTS
CATHEDRAL COURT,
NEW STREET, DUBLIN 8.

ARCHITECTURE
INTERIORS
URBAN DESIGN

PAUL KEOGH
B ARCH MARCA MR IAI

RACHAEL CHIDLOW
BA MARCA MIDI

TELEPHONE - 01 679 1551
FACSIMILE - 01 679 3476
E-MAIL info@pka.ie



ADJOINING PROPERTY TO BE REFURBISHED
BY LCCC

SITE NOTICE LOCATION

SITE LOCATION

ADJOINING SITE, PREVIOUSLY APPROVED
PART 8 PLANNING REF: 18/8001

LEGEND & GENERAL INFORMATION

DRAWINGS TO BE READ IN CONJUNCTION WITH THE CIVIL & STRUCTURAL ENGINEER'S SPECIFICATIONS & DETAILS

- GROUND / FLOOR LEVEL INDICATOR
- SECTION LINE INDICATOR
- REVISION BOX INDICATOR
- DETAIL INDICATOR
- LEVEL INDICATOR
- SITE OWNERSHIP BOUNDARY LINE
- NEW SITE BOUNDARY LINE
- WAYLEAVE BOUNDARY LINE

SITE AREA = 276 sqm

LEGEND & GENERAL INFORMATION

DRAWINGS TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEERS DETAILS AND SPECIFICATIONS

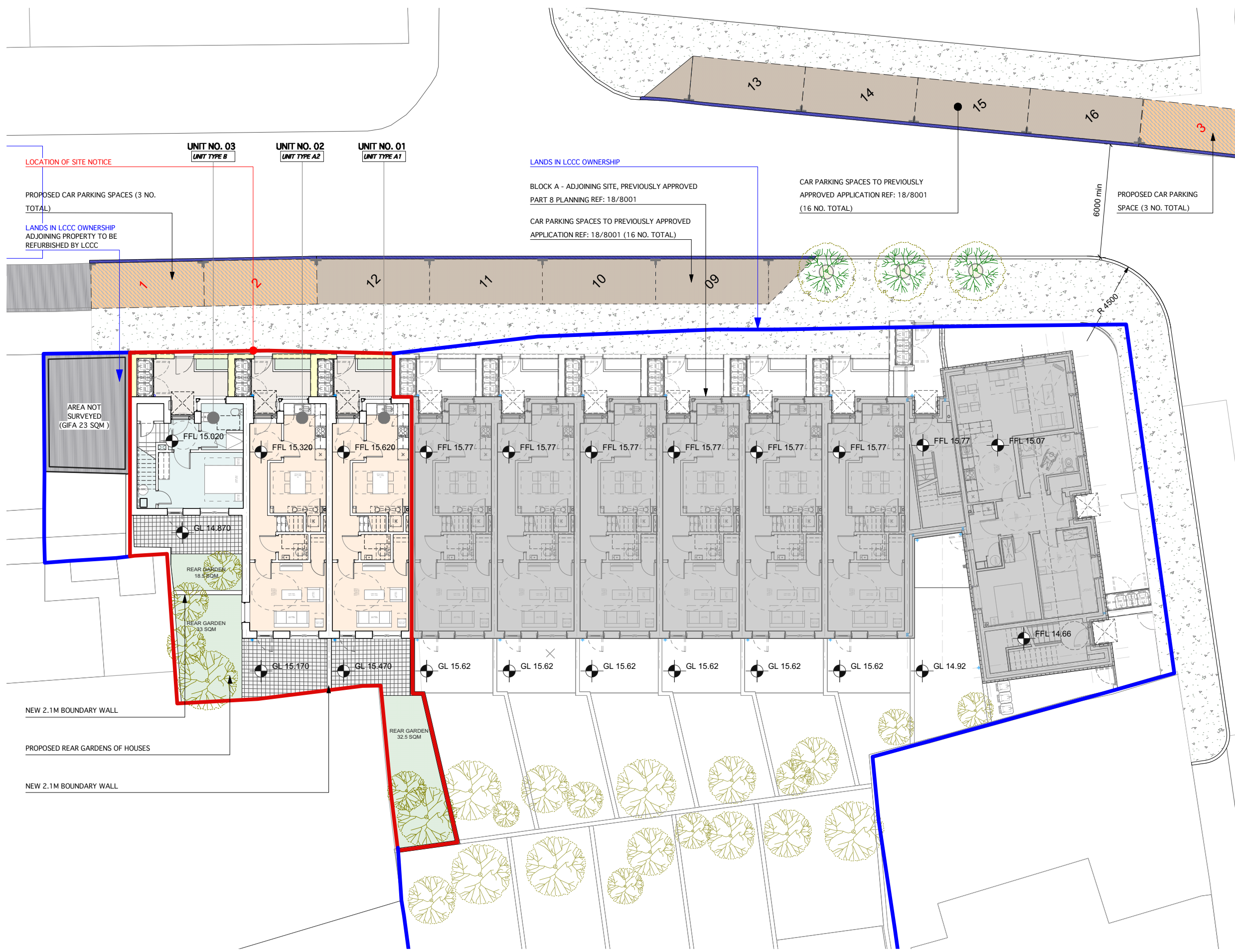
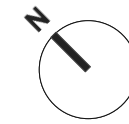
- GROUND / FLOOR LEVEL INDICATOR
- SECTION LINE INDICATOR
- REVISION BOX INDICATOR
- DEMOLITION
- SOLID BLOCKWORK
- AERATED BLOCKWORK
- BRICKWORK - CLAY
- BRICKWORK - ENGINEERING
- REINFORCED CONCRETE
- DAMP PROOF COURSE
- DETAIL INDICATOR
- LEVEL INDICATOR
- CEILING LEVEL INDICATOR
- WINDOW NO. - REFER TO SCHEDULES
- DOOR NO. - REFER TO SCHEDULES
- ROOFLIGHT NO. - REFER TO SCHEDULES

SHOP DRAWINGS TO BE ISSUED TO ARCHITECT FOR APPROVAL, PRIOR TO FABRICATION.

1 SITE LOCATION PLAN
PA-901

PROJECT: HOUSING DEVELOPMENT AT 7A GREENHILL ROAD, LIMERICK		DRAWING: SITE LOCATION PLAN	
JOB NO: 1725	CLIENT: LIMERICK CITY & COUNTY COUNCIL	DATE: SEPT 2019	SCALE: 1:2000 (A3)
PAUL KEOGH ARCHITECTS, CATHEDRAL COURT, NEW ST. DUBLIN 8		TEL NO: 01 6791551 FAX NO: 01 6793476 E-MAIL: info@pka.ie	
DRAWING NO.: 1725 / PA / 901 / A		NOTIFY ARCHITECT OF ANY DISCREPANCIES - CHECK DIMENSIONS ON SITE - DO NOT SCALE. USE FIGURED DIMENSIONS ONLY - COPYRIGHT RESERVED - PAUL KEOGH ARCHITECTS ©	
REVISIONS	STATUS	DRAWN	CHECKED
A	10/09/2019	FA	FOR APPROVAL
		MM	PK





LOCATION OF SITE NOTICE

UNIT NO. 03
UNIT TYPE B
UNIT NO. 02
UNIT TYPE A2
UNIT NO. 01
UNIT TYPE A1

LANDS IN LCCC OWNERSHIP

PROPOSED CAR PARKING SPACES (3 NO. TOTAL)

LANDS IN LCCC OWNERSHIP ADJOINING PROPERTY TO BE REFURBISHED BY LCCC

BLOCK A - ADJOINING SITE, PREVIOUSLY APPROVED PART 8 PLANNING REF: 18/8001

CAR PARKING SPACES TO PREVIOUSLY APPROVED APPLICATION REF: 18/8001 (16 NO. TOTAL)

CAR PARKING SPACES TO PREVIOUSLY APPROVED APPLICATION REF: 18/8001 (16 NO. TOTAL)

PROPOSED CAR PARKING SPACE (3 NO. TOTAL)

SITE BOUNDARY
SITE OWNERSHIP

SCHEDULE

TOTAL SITE AREA: 276 SQ.M, 0,0276 HECT.

TOTAL OF UNITS PROVIDED:
3 NO. UNITS, 5B/10P
3 NO. HOUSES:
- TYPE A: 2 NO. 2 BED / 4 P (2 STOREY)
- TYPE B: 1 NO. 1 BED / 2 P (2 STOREY)

CAR PARKING PROVIDED: 3 NO. SPACES

PROPOSED DENSITY: 108.7 DWELLINGS PER HECTARE.

REFER TO PA-001 FOR PROPOSED PLAN DETAILS.

REFER TO SV-900 FOR SURVEY AND DEMOLITION DETAILS.

PROPOSED SITE FINISHES & LANDSCAPING

PROPOSED FOOTPATH SURFACE

APPROVED PARKING BAYS

PROPOSED PARKING BAYS

EXISTING PARKING BAYS

PRIVATE GARDEN AREA

PAVING SLABS TO REAR GARDEN

PRIVACY STRIP / BUFFER

BIN STORE / FRONT WALLS & GATES

PROPOSED TREES

OUTLINE SPECIFICATION

FOUNDATIONS:
REINFORCED CONCRETE STRIP FOUNDATIONS ON LEAN MIX FILL TO BEDROCK TO ENGINEER'S DETAIL.

FLOORS:
IN-SITU SUSPENDED CONCRETE GROUND FLOOR SLABS AND TIMBER UPPER FLOORS TO ENGINEER'S DETAIL.

EXTERNAL WALLS:
465 MM CAVITY WALL CONSTRUCTION. WITH BRICKWORK OR RENDER FINISH TO ARCHITECT'S DETAIL AND SPECIFICATION.

WINDOWS AND DOORS:
TIMBER / ALUMINIUM TRIPLE GLAZED WINDOWS TO MANUFACTURER'S DETAIL AND SPECIFICATION.

ROOF FINISH:
FIBRE CEMENT SLATE TO SLOPED ROOFS TO ARCHITECT'S DETAIL AND SPECIFICATION.

PV SOLAR:
PV SOLAR PANELS TO M&E ENGINEER'S DETAIL AND SPECIFICATION.

ROOFLIGHTS:
SEALED DOUBLE GLAZED UNITS TO MANUFACTURER'S DETAIL.

GATES:
GALVANISED / TIMBER CLAD STEEL FRAME GATES TO ARCHITECT'S LATER DETAIL.

DRAINAGE:
DRAINS IN UPVC TO FALL 1:60 ; FOUL A/S TO MAIN SEWER; ALL TO ENGINEER'S DETAIL AND TO LCCC DRAINAGE APPROVAL

RAINWATER GOODS:
100 MM DIA. ALUMINIUM GUTTERS, 100 MM DIA. ALUMINIUM DOWNPIPES TO ARCHITECT'S LATER DETAIL AND SPECIFICATION.

LANDSCAPE:
SOFT AND HARD LANDSCAPING TO ARCHITECT'S LATER DETAIL.

NEW 2.1M BOUNDARY WALL

PROPOSED REAR GARDENS OF HOUSES

NEW 2.1M BOUNDARY WALL

1
PA-001

PROPOSED GROUND FLOOR PLAN

PROJECT: HOUSING DEVELOPMENT AT 7A GREENHILL ROAD, LIMERICK
DRAWING: PROPOSED GROUND FLOOR PLAN

JOB NO: 1725
DATE: SEPT 2019
SCALE: 1:200 (A3)

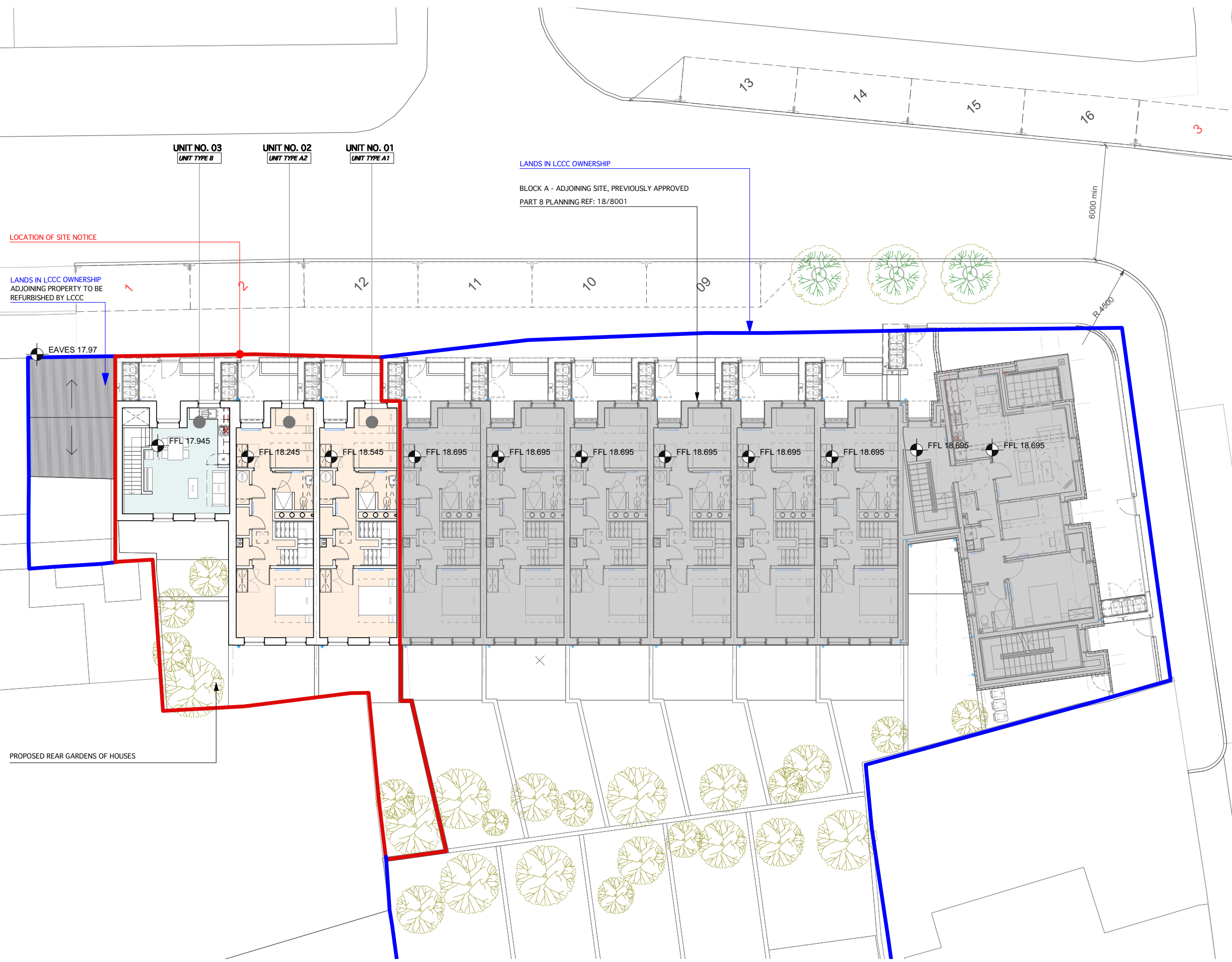
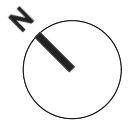
CLIENT: LIMERICK CITY & COUNTY COUNCIL
PAUL KEOGH ARCHITECTS, CATHEDRAL COURT, NEW ST. DUBLIN 8
TEL NO: 01 6791651 FAX NO: 01 6793476 E-MAIL: info@pka.ie

DRAWING NO.: 1725 / PA / 001 / A
NOTIFY ARCHITECT OF ANY DIMENSIONS ON SITE. DO NOT SCALE. USE FIGURED DIMENSIONS ONLY. COPYRIGHT RESERVED - PAUL KEOGH ARCHITECTS ©



REVISIONS	STATUS	DRAWN	CHECKED	STATUS		REVISIONS	CHECKED	DRAWN	MM	PK
				FA	FOR APPROVAL					
A	10/09/2019									

STATUS: PR - PRELIMINARY ISSUE; FI - FOR INFORMATION; FA - FOR APPROVAL; PP - FOR PRICING; FC - FOR CONSTRUCTION



LEGEND

SITE BOUNDARY =

SITE OWNERSHIP =

SCHEDULE

TOTAL SITE AREA: 276 SQ.M, 0,0276 HECT.

TOTAL OF UNITS PROVIDED:
3 NO. UNITS, 5B/10P
3 NO. HOUSES:
- TYPE A: 2 NO. 2 BED / 4 P (2 STOREY)
- TYPE B: 1 NO. 1 BED / 2 P (2 STOREY)

CAR PARKING PROVIDED: 3 NO. SPACES

PROPOSED DENSITY: 108.7 DWELLINGS PER HECTARE.

REFER TO PA-001 FOR PROPOSED PLAN DETAILS.

REFER TO SV-900 FOR SURVEY AND DEMOLITION DETAILS.

PROPOSED SITE FINISHES & LANDSCAPING

PROPOSED FOOTPATH SURFACE

APPROVED PARKING BAYS

PROPOSED PARKING BAYS

EXISTING PARKING BAYS

PRIVATE GARDEN AREA

PAVING SLABS TO REAR GARDEN

PRIVACY STRIP / BUFFER

BIN STORE / FRONT WALLS & GATES

PROPOSED TREES

OUTLINE SPECIFICATION

FOUNDATIONS:
REINFORCED CONCRETE STRIP FOUNDATIONS ON LEAN MIX FILL TO BEDROCK TO ENGINEER'S DETAIL.

FLOORS:
IN-SITU SUSPENDED CONCRETE GROUND FLOOR SLABS AND TIMBER UPPER FLOORS TO ENGINEER'S DETAIL.

EXTERNAL WALLS:
465 MM CAVITY WALL CONSTRUCTION. WITH BRICKWORK OR RENDER FINISH TO ARCHITECT'S DETAIL AND SPECIFICATION.

WINDOWS AND DOORS:
TIMBER / ALUMINIUM TRIPLE GLAZED WINDOWS TO MANUFACTURER'S DETAIL AND SPECIFICATION.

ROOF FINISH:
FIBRE CEMENT SLATE TO SLOPED ROOFS TO ARCHITECT'S DETAIL AND SPECIFICATION.

PV SOLAR:
PV SOLAR PANELS TO M&E ENGINEER'S DETAIL AND SPECIFICATION.

ROOFLIGHTS:
SEALED DOUBLE GLAZED UNITS TO MANUFACTURER'S DETAIL.

GATES:
GALVANISED / TIMBER CLAD STEEL FRAME GATES TO ARCHITECT'S LATER DETAIL.

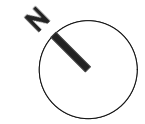
DRAINAGE:
DRAINS IN UPVC TO FALL 1:60 ; FOUL A/J'S TO MAIN SEWER; ALL TO ENGINEER'S DETAIL AND TO LCCC DRAINAGE APPROVAL

RAINWATER GOODS:
100 MM DIA. ALUMINIUM GUTTERS, 100 MM DIA. ALUMINIUM DOWNPIPES TO ARCHITECT'S LATER DETAIL AND SPECIFICATION.

LANDSCAPE:
SOFT AND HARD LANDSCAPING TO ARCHITECT'S LATER DETAIL.

REVISIONS	STATUS	DRAWN	CHECKED	REVISIONS	STATUS		DRAWN	CHECKED	REVISIONS	STATUS	DRAWN	CHECKED
					FA	FOR APPROVAL						
				A	10/09/2019	FA						

1
PA-002
PROPOSED FIRST FLOOR PLAN



PROJECT: HOUSING DEVELOPMENT AT 7A GREENHILL ROAD, LIMERICK
 DRAWING: PROPOSED ROOF PLAN
 CLIENT: LIMERICK CITY & COUNTY COUNCIL
 JOB NO: 1725 SCALE: 1:200 (A3)
 DATE: SEPT 2019
 PAUL KEOGH ARCHITECTS, CATHEDRAL COURT, NEW ST. DUBLIN 8
 TEL NO: 01 6791551 FAX NO: 01 6793476 E-MAIL: info@pka.ie
DRAWING NO.: 1725 / PA / 003 / A
 NOT TO SCALE
 CHECK DIMENSIONS ON SITE - DO NOT SCALE
 USE FIGURED DIMENSIONS ONLY - COPYRIGHT RESERVED - PAUL KEOGH ARCHITECTS

UNIT NO. 03
UNIT TYPE B

UNIT NO. 02
UNIT TYPE A2

UNIT NO. 01
UNIT TYPE A1

LANDS IN LCCC OWNERSHIP
 BLOCK A - ADJOINING SITE, PREVIOUSLY APPROVED
 PART 8 PLANNING REF: 18/8001

LOCATION OF SITE NOTICE
 PROPOSED ROOF SLOPE TO MATCH ADJACENT
 PITCH ROOF

LANDS IN LCCC OWNERSHIP
 ADJOINING PROPERTY TO BE
 REFURBISHED BY LCCC

LEGEND

SITE BOUNDARY

SITE OWNERSHIP

SCHEDULE

TOTAL SITE AREA: 276 SQ.M, 0,0276 HECT.

TOTAL OF UNITS PROVIDED:
3 NO. UNITS, 5B/10P
 3 NO. HOUSES:
 - TYPE A: 2 NO. 2 BED / 4 P (2 STOREY)
 - TYPE B: 1 NO. 1 BED / 2 P (2 STOREY)

CAR PARKING PROVIDED: 3 NO. SPACES

PROPOSED DENSITY: 108.7 DWELLINGS PER HECTARE .

REFER TO PA-001 FOR PROPOSED PLAN DETAILS.

REFER TO SV-900 FOR SURVEY AND DEMOLITION DETAILS.

PROPOSED SITE FINISHES & LANDSCAPING

PROPOSED FOOTPATH SURFACE

APPROVED PARKING BAYS

PROPOSED PARKING BAYS

EXISTING PARKING BAYS

PRIVATE GARDEN AREA

PAVING SLABS TO REAR GARDEN

PRIVACY STRIP / BUFFER

BIN STORE / FRONT WALLS & GATES

PROPOSED TREES

OUTLINE SPECIFICATION

FOUNDATIONS:
 REINFORCED CONCRETE STRIP FOUNDATIONS ON LEAN MIX FILL TO BEDROCK TO ENGINEER'S DETAIL.

FLOORS:
 IN-SITU SUSPENDED CONCRETE GROUND FLOOR SLABS AND TIMBER UPPER FLOORS TO ENGINEER'S DETAIL.

EXTERNAL WALLS:
 465 MM CAVITY WALL CONSTRUCTION WITH BRICKWORK OR RENDER FINISH TO ARCHITECT'S DETAIL AND SPECIFICATION.

WINDOWS AND DOORS:
 TIMBER / ALUMINIUM TRIPLE GLAZED WINDOWS TO MANUFACTURER'S DETAIL AND SPECIFICATION.

ROOF FINISH:
 FIBRE CEMENT SLATE TO SLOPED ROOFS TO ARCHITECT'S DETAIL AND SPECIFICATION.

PV SOLAR:
 PV SOLAR PANELS TO M&E ENGINEER'S DETAIL AND SPECIFICATION.

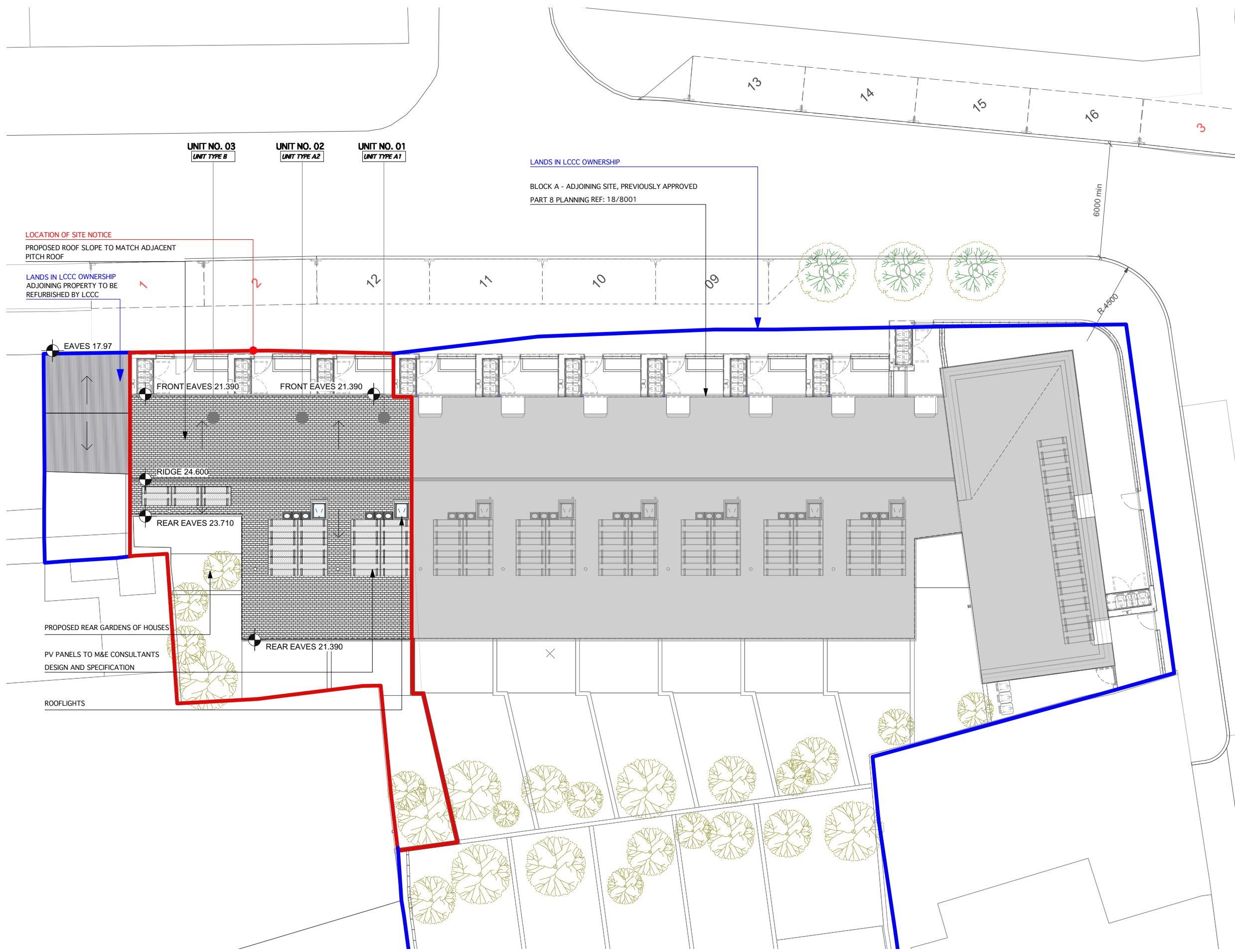
ROOFLIGHTS:
 SEALED DOUBLE GLAZED UNITS TO MANUFACTURER'S DETAIL.

GATES:
 GALVANISED / TIMBER CLAD STEEL FRAME GATES TO ARCHITECT'S LATER DETAIL.

DRAINAGE:
 DRAINS IN UPVC TO FALL 1:60 ; FOUL A/J'S TO MAIN SEWER; ALL TO ENGINEER'S DETAIL AND TO LCCC DRAINAGE APPROVAL

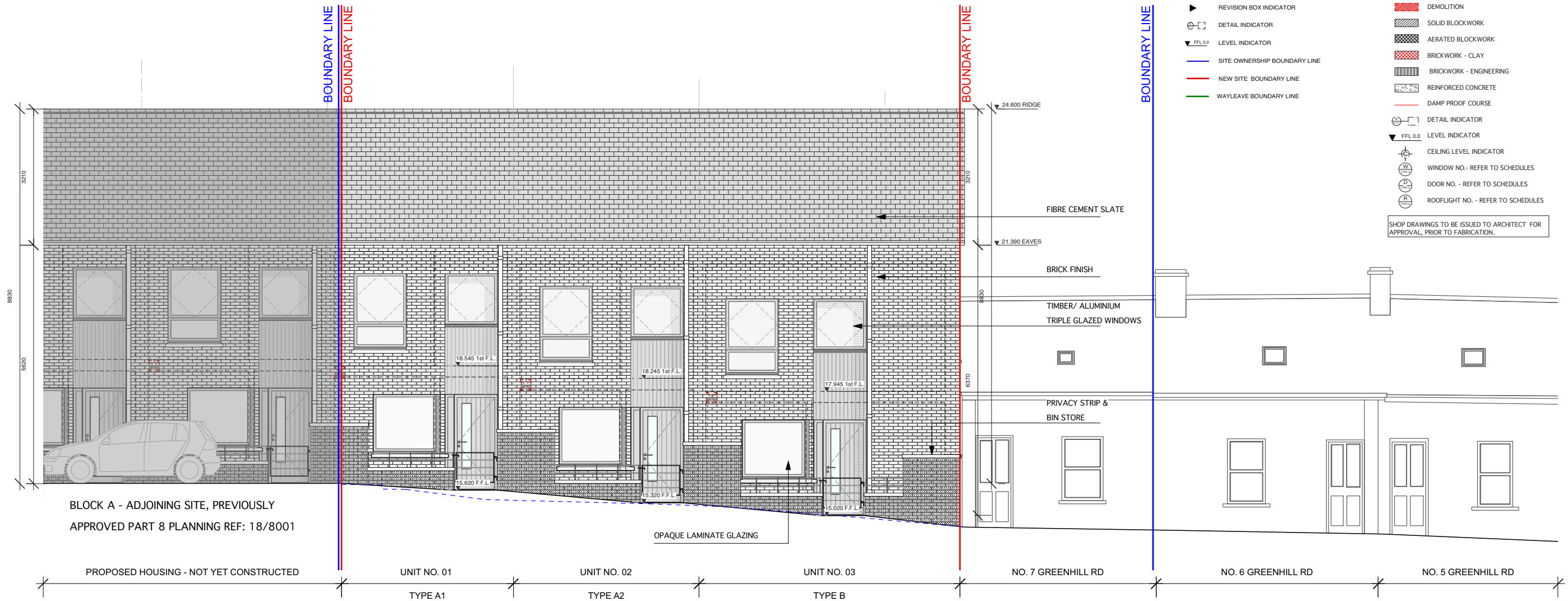
RAINWATER GOODS:
 100 MM DIA. ALUMINIUM GUTTERS, 100 MM DIA. ALUMINIUM DOWNPIPES TO ARCHITECT'S LATER DETAIL AND SPECIFICATION.

LANDSCAPE:
 SOFT AND HARD LANDSCAPING TO ARCHITECT'S LATER DETAIL.



1
PA-003
PROPOSED ROOF PLAN

REVISIONS	STATUS	DRAWN	CHECKED	REVISIONS	STATUS	DRAWN	CHECKED
				A	10/09/2019	FA	FOR APPROVAL



1 STREET ELEVATION



2 STREET CONTEXT ELEVATION

LEGEND & GENERAL INFORMATION

DRAWINGS TO BE READ IN CONJUNCTION WITH THE CIVIL & STRUCTURAL ENGINEER'S SPECIFICATIONS & DETAILS

- GROUND / FLOOR LEVEL INDICATOR
- SECTION LINE INDICATOR
- REVISION BOX INDICATOR
- DETAIL INDICATOR
- LEVEL INDICATOR
- SITE OWNERSHIP BOUNDARY LINE
- NEW SITE BOUNDARY LINE
- WAYLEAVE BOUNDARY LINE

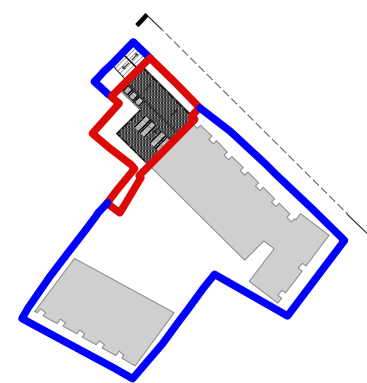
LEGEND & GENERAL INFORMATION

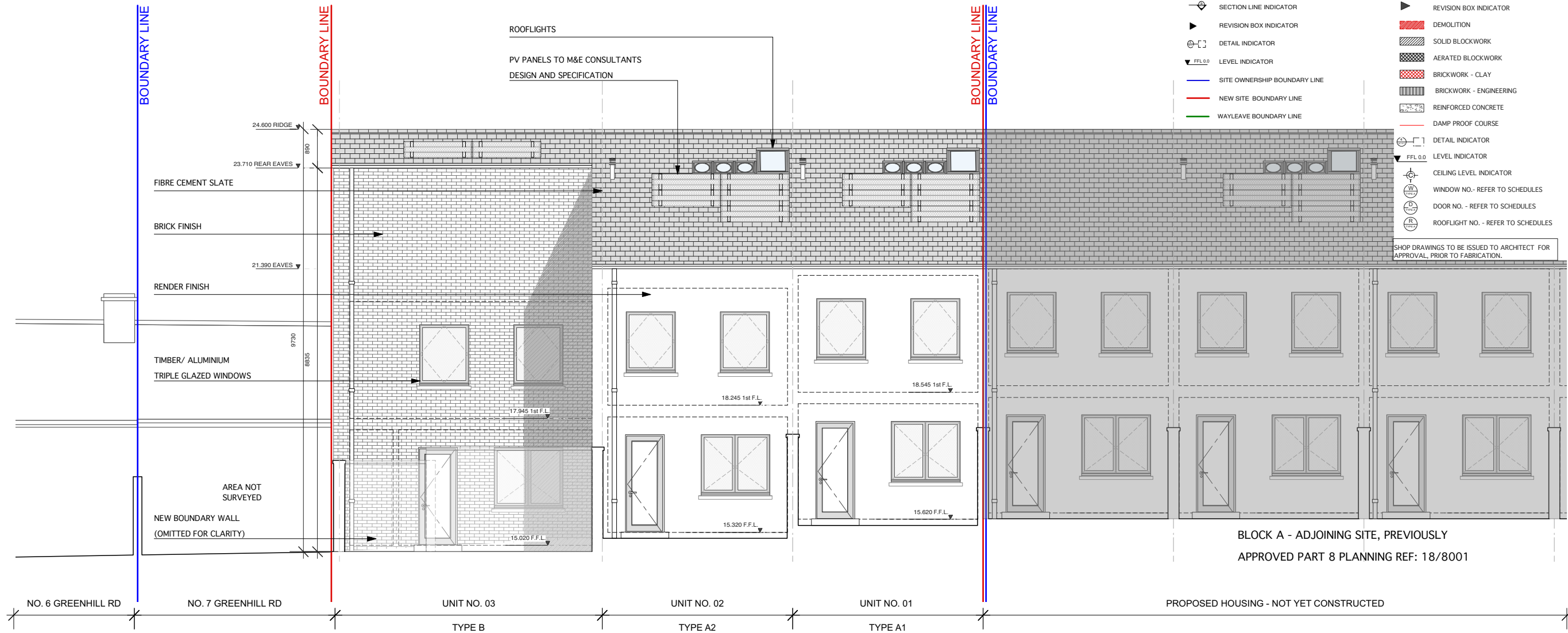
DRAWINGS TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEER'S DETAILS AND SPECIFICATIONS

- GROUND / FLOOR LEVEL INDICATOR
- SECTION LINE INDICATOR
- REVISION BOX INDICATOR
- DEMOLITION
- SOLID BLOCKWORK
- AERATED BLOCKWORK
- BRICKWORK - CLAY
- BRICKWORK - ENGINEERING
- REINFORCED CONCRETE
- DAMP PROOF COURSE
- DETAIL INDICATOR
- LEVEL INDICATOR
- CEILING LEVEL INDICATOR
- WINDOW NO. - REFER TO SCHEDULES
- DOOR NO. - REFER TO SCHEDULES
- ROOFLIGHT NO. - REFER TO SCHEDULES

SHOP DRAWINGS TO BE ISSUED TO ARCHITECT FOR APPROVAL, PRIOR TO FABRICATION.

PROJECT: HOUSING DEVELOPMENT AT 7A GREENHILL ROAD, LIMERICK			
DRAWING: PROPOSED STREET ELEVATION			
JOB NO:	1725	CLIENT:	LIMERICK CITY & COUNTY COUNCIL
DATE:	SEPT 2019	SCALE:	1:200 & 1:100 (A3)
PAUL KEOGH ARCHITECTS, CATHEDRAL COURT, NEW ST. DUBLIN 8			
TEL NO: 01 6791551 FAX NO: 01 6793476 E-MAIL: info@pka.ie			
DRAWING NO.: 1725 / PA / 004 / A			
NOTIFY ARCHITECT OF ANY CHANGES. CHECK DIMENSIONS ON SITE. DO NOT SCALE. USE FIGURED DIMENSIONS ONLY. COPYRIGHT RESERVED. PAUL KEOGH ARCHITECTS			
REVISIONS	STATUS	DRAWN	CHECKED
A	10/09/2019	FA	FOR APPROVAL
		MM	PK





- LEGEND & GENERAL INFORMATION**
- DRAWINGS TO BE READ IN CONJUNCTION WITH THE CIVIL & STRUCTURAL ENGINEER'S SPECIFICATIONS & DETAILS
- ◆ GROUND / FLOOR LEVEL INDICATOR
 - SECTION LINE INDICATOR
 - ▶ REVISION BOX INDICATOR
 - ⊕ DETAIL INDICATOR
 - ▽ F.F.L. 0.0 LEVEL INDICATOR
 - SITE OWNERSHIP BOUNDARY LINE
 - NEW SITE BOUNDARY LINE
 - WAYLEAVE BOUNDARY LINE

- LEGEND & GENERAL INFORMATION**
- DRAWINGS TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEERS DETAILS AND SPECIFICATIONS
- ◆ GROUND / FLOOR LEVEL INDICATOR
 - SECTION LINE INDICATOR
 - ▶ REVISION BOX INDICATOR
 - DEMOLITION
 - SOLID BLOCKWORK
 - AERATED BLOCKWORK
 - BRICKWORK - CLAY
 - BRICKWORK - ENGINEERING
 - REINFORCED CONCRETE
 - DAMP PROOF COURSE
 - DETAIL INDICATOR
 - ▽ F.F.L. 0.0 LEVEL INDICATOR
 - CEILING LEVEL INDICATOR
 - WINDOW NO. - REFER TO SCHEDULES
 - DOOR NO. - REFER TO SCHEDULES
 - ROOFLIGHT NO. - REFER TO SCHEDULES
- SHOP DRAWINGS TO BE ISSUED TO ARCHITECT FOR APPROVAL, PRIOR TO FABRICATION.

1 REAR ELEVATION
PA-005



2 REAR CONTEXT ELEVATION
PA-005

PROJECT: HOUSING DEVELOPMENT AT 7A GREENHILL ROAD, LIMERICK		CLIENT: LIMERICK CITY & COUNTY COUNCIL	
DRAWING: PROPOSED REAR ELEVATION		JOB NO: 1725	
DATE: SEPT 2019		SCALE: 1:200 & 1:100 (A3)	
PAUL KEOGH ARCHITECTS, CATHEDRAL COURT, NEW ST. DUBLIN 8		TEL NO: 01 6791551 FAX NO: 01 6793476 E-MAIL: info@pka.ie	
DRAWING NO.: 1725 / PA / 005 / A		NOTIFY ARCHITECT OF ANY CHANGES. CHECK DIMENSIONS ON SITE. DO NOT SCALE. USE FIGURED DIMENSIONS ONLY. COPYRIGHT RESERVED. PAUL KEOGH ARCHITECTS	
REVISIONS	STATUS	DRAWN	CHECKED
A	10/09/2019	FA	FOR APPROVAL
		MM	PK

STATUS: PR - PRELIMINARY ISSUE; R1 - FOR INFORMATION; FA - FOR APPROVAL; FP - FOR PRICING; FC - FOR CONSTRUCTION

LEGEND & GENERAL INFORMATION

DRAWINGS TO BE READ IN CONJUNCTION WITH THE CIVIL & STRUCTURAL ENGINEER'S SPECIFICATIONS & DETAILS

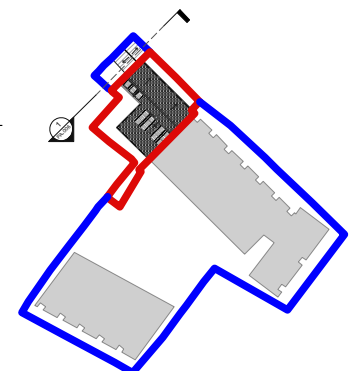
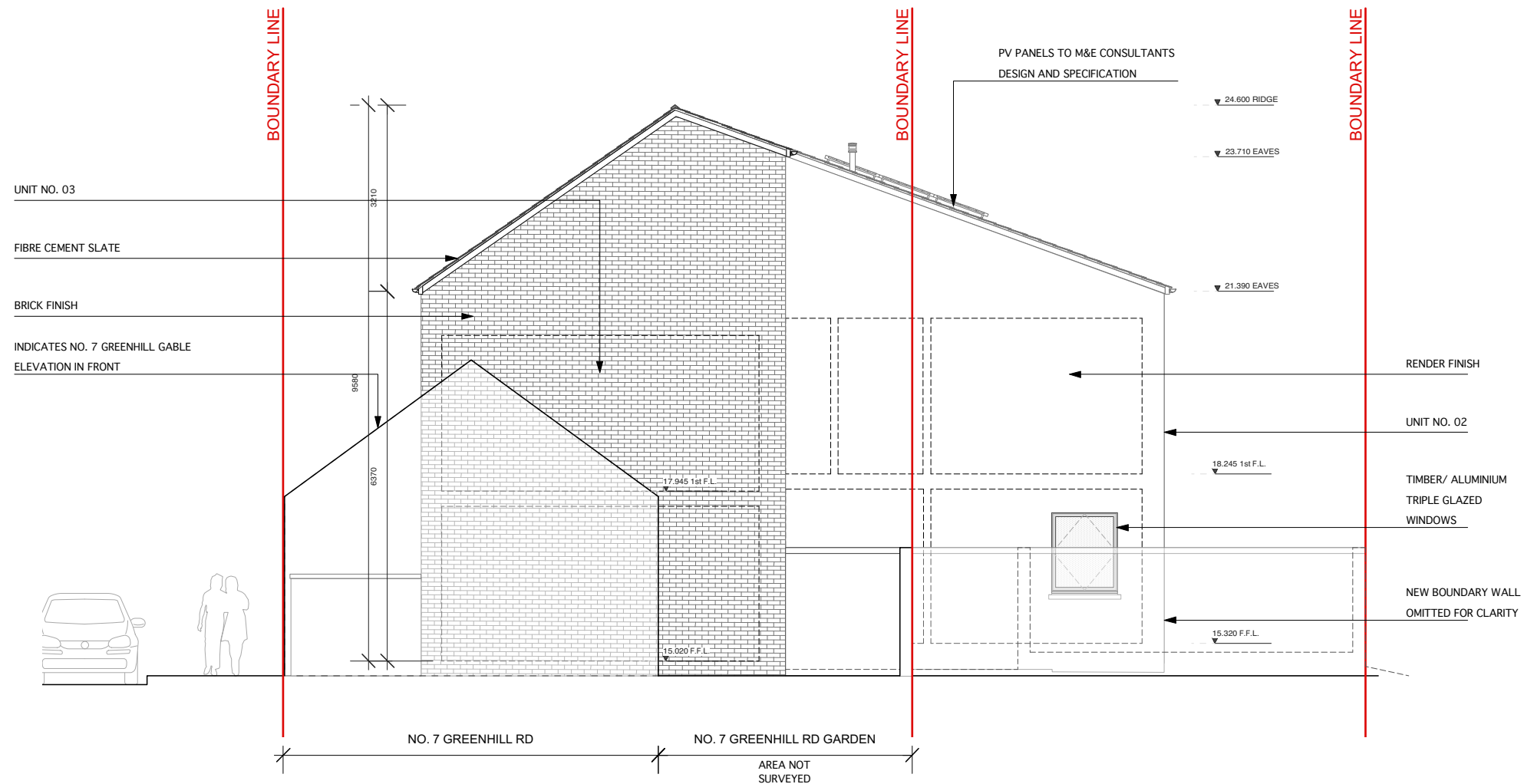
- GROUND / FLOOR LEVEL INDICATOR
- SECTION LINE INDICATOR
- REVISION BOX INDICATOR
- DETAIL INDICATOR
- LEVEL INDICATOR
- SITE OWNERSHIP BOUNDARY LINE
- NEW SITE BOUNDARY LINE
- WAYLEAVE BOUNDARY LINE

LEGEND & GENERAL INFORMATION

DRAWINGS TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEER'S DETAILS AND SPECIFICATIONS

- GROUND / FLOOR LEVEL INDICATOR
- SECTION LINE INDICATOR
- REVISION BOX INDICATOR
- DEMOLITION
- SOLID BLOCKWORK
- AERATED BLOCKWORK
- BRICKWORK - CLAY
- BRICKWORK - ENGINEERING
- REINFORCED CONCRETE
- DAMP PROOF COURSE
- DETAIL INDICATOR
- LEVEL INDICATOR
- CEILING LEVEL INDICATOR
- WINDOW NO. - REFER TO SCHEDULES
- DOOR NO. - REFER TO SCHEDULES
- ROOFLIGHT NO. - REFER TO SCHEDULES

SHOP DRAWINGS TO BE ISSUED TO ARCHITECT FOR APPROVAL, PRIOR TO FABRICATION.



1 GABLE ELEVATION
PA-006

PROJECT: HOUSING DEVELOPMENT AT 7A GREENHILL ROAD, LIMERICK
 DRAWING: PROPOSED GABLE ELEVATION
 JOB NO: 1725 CLIENT: LIMERICK CITY & COUNTY COUNCIL
 DATE: SEPT 2019 SCALE: 1:100 (A3)
 PAUL KEOGH ARCHITECTS, CATHEDRAL COURT, NEW ST. DUBLIN 8
 TEL NO: 01 6791651 FAX NO: 01 6793476 E-MAIL: info@pka.ie
DRAWING NO.: 1725 / PA / 006 / A
 NOTIFY ARCHITECT OF ANY CHANGES. CHECK DIMENSIONS ON SITE. DO NOT SCALE. USE FIGURED DIMENSIONS ONLY. COPYRIGHT RESERVED. PAUL KEOGH ARCHITECTS

REVISIONS	STATUS	DRAWN	CHECKED	REVISIONS	STATUS	DRAWN	CHECKED
A	10/09/2019	FA	FOR APPROVAL				

STATUS: PR - PRELIMINARY ISSUE; FI - FOR INFORMATION; FA - FOR APPROVAL; FP - FOR PRICING; FC - FOR CONSTRUCTION

LEGEND & GENERAL INFORMATION

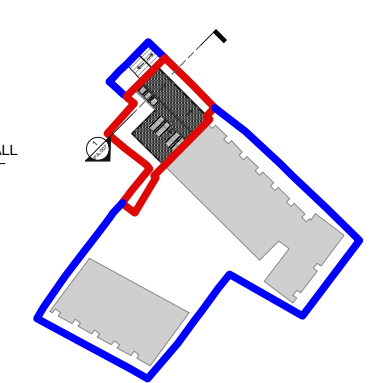
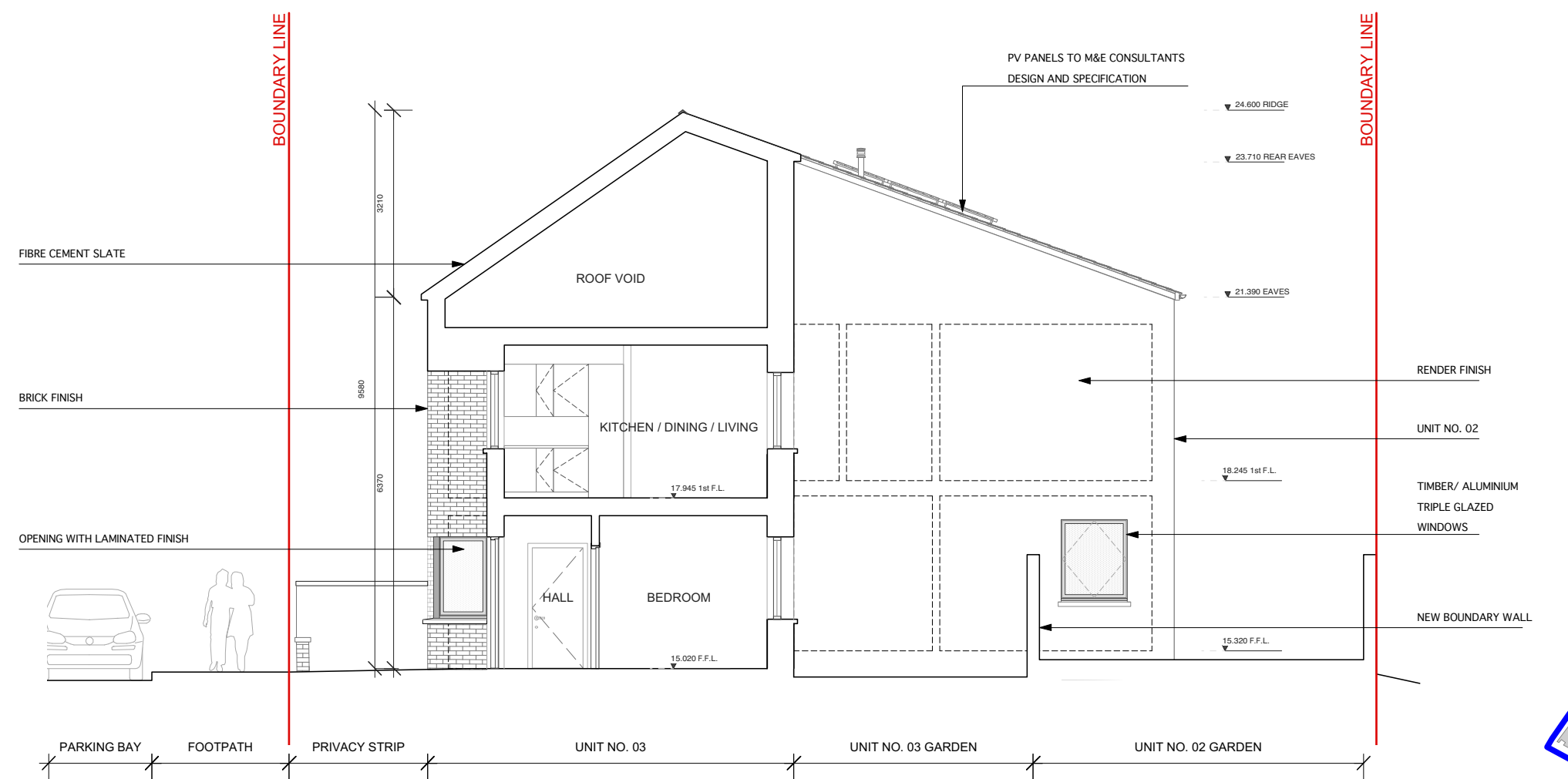
DRAWINGS TO BE READ IN CONJUNCTION WITH THE CIVIL & STRUCTURAL ENGINEER'S SPECIFICATIONS & DETAILS

- GROUND / FLOOR LEVEL INDICATOR
- SECTION LINE INDICATOR
- REVISION BOX INDICATOR
- DETAIL INDICATOR
- LEVEL INDICATOR
- SITE OWNERSHIP BOUNDARY LINE
- NEW SITE BOUNDARY LINE
- WAYLEAVE BOUNDARY LINE

DRAWINGS TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEER'S DETAILS AND SPECIFICATIONS

- GROUND / FLOOR LEVEL INDICATOR
- SECTION LINE INDICATOR
- REVISION BOX INDICATOR
- DEMOLITION
- SOLID BLOCKWORK
- AERATED BLOCKWORK
- BRICKWORK - CLAY
- BRICKWORK - ENGINEERING
- REINFORCED CONCRETE
- DAMP PROOF COURSE
- DETAIL INDICATOR
- LEVEL INDICATOR
- CEILING LEVEL INDICATOR
- WINDOW NO. - REFER TO SCHEDULES
- DOOR NO. - REFER TO SCHEDULES
- ROOFLIGHT NO. - REFER TO SCHEDULES

SHOP DRAWINGS TO BE ISSUED TO ARCHITECT FOR APPROVAL, PRIOR TO FABRICATION.



1 SECTION - UNIT 03
PA-007

REVISIONS	STATUS	DRAWN	CHECKED	REVISIONS	STATUS	DRAWN	CHECKED
A	10/09/2019	FA	FOR APPROVAL				

